

**SECTION 00 9111**  
**ADDENDUM NUMBER 01**

**PARTICULARS:**

DATE: January 2, 2025  
PROJECT: 2025 Roof Replacements  
PROJECT NUMBER: 2240017800  
OWNER: Southeast Polk Community School District  
ARCHITECT: Shive-Hattery, Inc.

**TO: PROSPECTIVE BIDDERS:**

THIS ADDENDUM FORMS A PART OF THE BIDDING AND CONTRACT DOCUMENTS AND MODIFIES THE BIDDING DOCUMENTS DATED 12-09-2024, WITH AMENDMENTS AND ADDITIONS NOTED BELOW. THIS ADDENDUM SUPERSEDES AND SUPPLEMENTS ALL PORTIONS OF THE ORIGINAL BIDDING AND CONTRACT DOCUMENTS WITH WHICH IT CONFLICTS.

ACKNOWLEDGE RECEIPT OF THIS ADDENDUM IN THE SPACE PROVIDED IN THE BID FORM. FAILURE TO DO SO MAY DISQUALIFY THE BIDDER.

**GENERAL CLARIFICATIONS**

1. Pre-bid Meeting Summary and Sign-In Sheet are attached to this addendum.
2. **Q:** The contractor warranty for EPDM is 2 years but the PVC contractor warranty is shown at 5 years. Can we make these both 5 years to match?  
**A:** Contractor warranties for both EPDM and PVC should be 5 years. See revision to specification below.
3. **Q:** Should curbs for the existing smoke vents at the Junior High be raised?  
**A:** See revisions to sheet A102.

**CHANGES TO THE SPECIFICATIONS**

**07 5323 – ETHYLENE-PROPOYLENE-DIENE-MONOMER (EPDM) ROOFING**

4. **REVISE** paragraph 1.10.B.1 to read “Warranty Period: Five years from date of Substantial Completion.”

**CHANGES TO THE DRAWINGS**


**A102 – ROOF PLAN, NOTES & DETAILS – JR HIGH SCHOOL**

5. **REPLACE** detail 6A with attached revised detail.

**ATTACHMENTS:** Pre-bid Meeting Sign-In and Minutes, Sheet A102

SEPCSD – 2025 Roof Replacements  
Project # 2240017800

PREPARED BY: SHIVE-HATTERY, INC.

	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.	
	<i>Karen Hardisty</i>	1/2/2025
	Signature	Date
	Printed or Typed Name	<u>Karen E. Hardisty</u>
	License Number	<u>22588</u>
	My License Renewal Date is: <u>12-31-2026</u>	
	Pages, Sheets, or Divisions covered by this Seal: Addendum 01.	

END OF ADDENDUM NUMBER 01



ROOF LEGEND		
PLAN MARK	DESCRIPTION	REFERENCE
1/4" FT.	TAPERED INSULATION	N/A
X	DESIGNATES ROOF LEVEL, SEE ROOF TYPE.	N/A
KEYNOTE	KEYNOTES	N/A
1 A1.0	DESIGNATES DETAIL MARK SEE DETAIL 1 ON SHEET A1.0	N/A
ROOF EDGE	ROOF EDGE	REFER TO ROOF PLAN
AREA NOT IN CONTRACT	AREA NOT IN CONTRACT	N/A
VTR	PRIMARY ROOF DRAIN W/ SUMP	REFER TO ROOF PLAN
AD	ABANDON CURB	A07
SRV	SMOKE RELIEF VENT	DETAIL 6A/A102
DTR	ROUND DUCT THROUGH ROOF	DETAIL 2C/A102

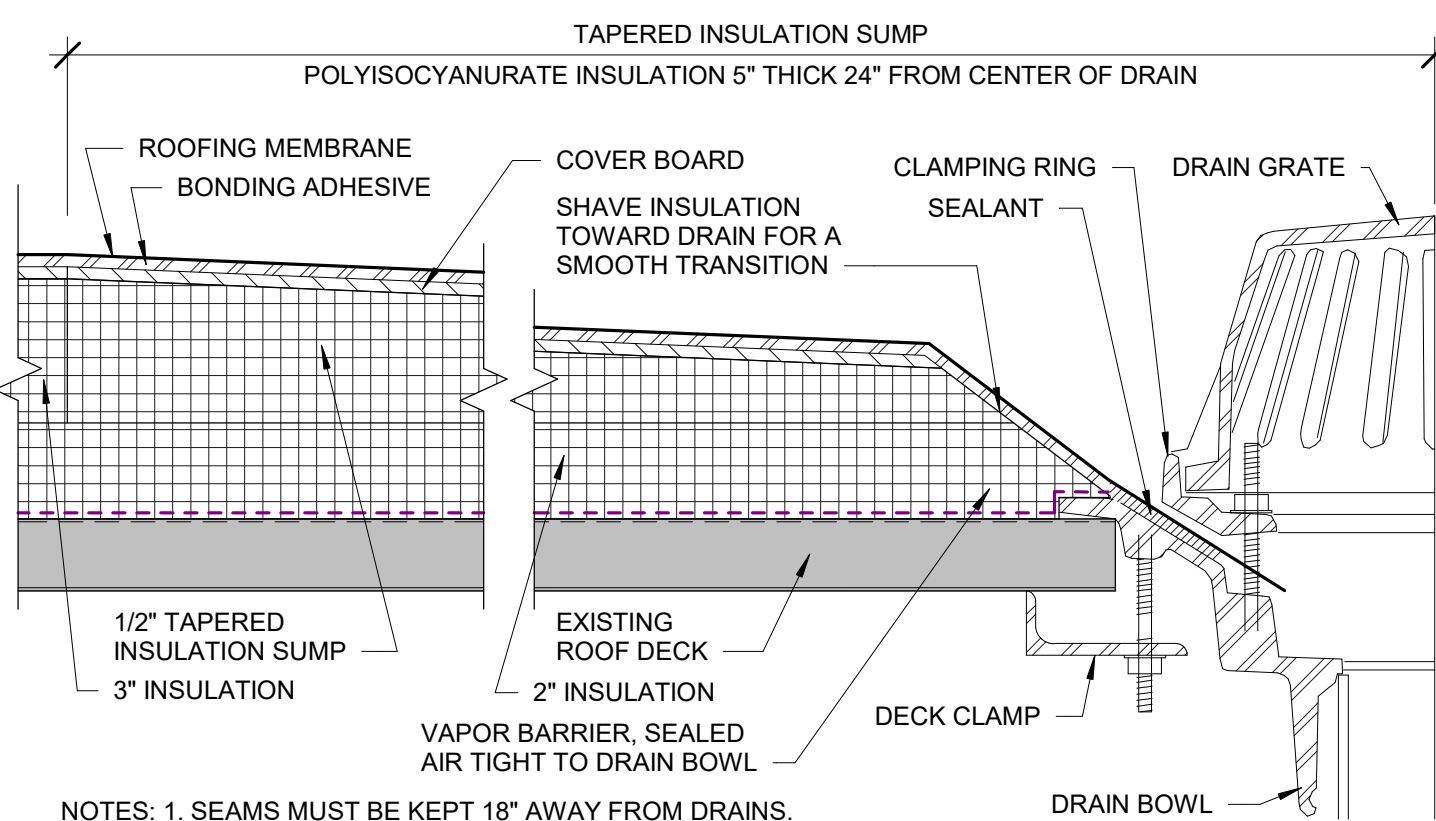
**ROOF PLAN NOTES**

- ROOF PLAN LAYOUT, LOCATION, AND SECTIONS WERE TAKEN FROM EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS.
- THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
- REMOVE EXISTING ROOF SYSTEMS DOWN TO THE EXISTING DECK.
- REMOVE EXISTING SHEET METAL, UNLESS NOTED OTHERWISE. AND REPLACE WITH NEW AS PLANS SHOW. ALL PERIMETER WOOD BLOCKING SHALL BE OF UNIFORM HEIGHT AND OF A MINIMUM HEIGHT TO MATCH THE THICKNESS OF THE NEW INSULATION SYSTEM. THE CONTRACTOR SHALL VERIFY HEIGHT OF ALL WOOD BLOCKING.
- FIELD VERIFY ALL DIMENSIONS OF BUILDING AND DRAIN LOCATIONS BEFORE ORDERING INSULATION MATERIALS. SUBMIT TAPERED INSULATION LAYOUT PLAN. SEE SPECIFICATION SECTION 07 22 00 FOR SYSTEM DESCRIPTION.
- ALL EXISTING METAL HOODS, VENTS, CAPS, ETC., REMOVED AND REINSTALLED DURING CONSTRUCTION SHALL BE PROPERLY REFASTENED TO PROVIDE WATERTIGHT CONDITIONS.
- RAISE ALL CURBS AND VENTS WHICH DO NOT MEET THE 8" MINIMUM FLASHING HEIGHT REQUIREMENT.
- FLASH ALL SCUPPERS, CURBS, VENTS AND STACKS AS SHOWN IN PLANS. REFER TO MANUFACTURER'S STANDARD DETAILS AND RECOMMENDATIONS FOR ANY MISCELLANEOUS DETAILS NOT SHOWN IN THE PLANS.
- USE OF MANUFACTURER-APPROVED PENETRATION POCKET WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED IN WRITING FROM SHIVE-HATTERY, INC. PRIOR TO INSTALLATION.
- PROVIDE DISCONNECT AND RECONNECT OF MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW ROOF SYSTEM AND INCREASE IN HEIGHT OF CURB. VERIFY EQUIPMENT IS OPERATIONAL WHEN WORK IS COMPLETE. COORDINATE THIS WORK WITH THE OWNER.
- MAINTAIN WATER TIGHT CONDITIONS AT ALL TIMES DURING CONSTRUCTION.
- PROTECT ROOF SYSTEM ON THE BUILDING. A MINIMUM LAYER OF 1.5" INSULATION WITH A LAYER OF 1/2" PLYWOOD SHALL BE LAID OVER THE ROOF SYSTEM IN A CONTINUOUS FASHION AS WORK PROGRESSES AROUND THE BUILDING. ANY DAMAGE TO THE ROOF SYSTEM WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR.
- PROTECT AND REPAIR OF ANY DAMAGE CAUSED DURING CONSTRUCTION TO THE SURROUNDING GROUNDS. (GRASS, CONCRETE, ETC.)
- REPLACE ANY DAMAGED BROKEN OR MISSING DRAIN GRATES. CLAMPING RINGS AND BOLTS WITH NEW. NEW DRAIN PARTS SHALL MATCH EXISTING DRAIN DESIGN. NEW DRAIN GRATES SHALL BE METAL. EXISTING PLASTIC DRAIN GRATES SHALL BE REPLACED WITH METAL DRAIN GRATES. ALL DRAINS SHALL BE TESTED AND MADE OPERATIONAL PRIOR TO COMPLETION OF PROJECT.
- EXISTING ROOF SYSTEM CONSISTS WITH 2 LAYERS OF 1" POLYISO WITH ASPHALT ON METAL DECK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING INSULATION DEPTH AT ALL CURBS AND PENETRATIONS.
- ALL PERIMETER WOOD BLOCKING SHALL BE OF UNIFORM HEIGHT AND OF A MINIMUM HEIGHT TO MATCH THE MAXIMUM THICKNESS OF THE NEW INSULATION SYSTEM. THE CONTRACTOR SHALL VERIFY HEIGHT OF ALL WOOD BLOCKING. CONTRACTOR SHALL FASTEN UNSECURED EXISTING WOOD BLOCKING AND NEW WOOD BLOCKING ACCORDING TO THE FOLLOWING REQUIREMENTS - UNLESS OTHERWISE NOTED:
  - A. WOOD TO WOOD CONNECTIONS SHALL BE FASTENED WITH #12-16X3" SENTRY PLUS FIRE TRUSS HEAD FASTENERS BY TFC (OR APPROVED EQUIVALENT) 2 ROWS STAGGERED 24" OC AND AT 12" OC WITHIN 8'-0" OF OUTSIDE CORNERS. FASTENER MUST MEET MINIMUM OF 100# PULL-OUT VALUE.
  - B. WOOD TO MASONRY CONNECTIONS SHALL BE FASTENED WITH 1/4"x4" TRIANGLE TAPCON BY TFC (OR APPROVED EQUIVALENT). AT 24" OC MAX AND 12" OC WITHIN 8'-0" OF OUTSIDE CORNERS.
  - C. WOOD TO STEEL CONNECTIONS SHALL BE FASTENED WITH 1/4" - #14X4" BLAZER SELF DRILLING FASTENER BY TFC (OR APPROVED EQUIVALENT). AT 4'-0" OC MAX AND AT 2'-0" OC WITHIN 8'-0" OF OUTSIDE CORNERS.
- KEYNOTE LIST IS SPECIFIC TO THIS SHEET.

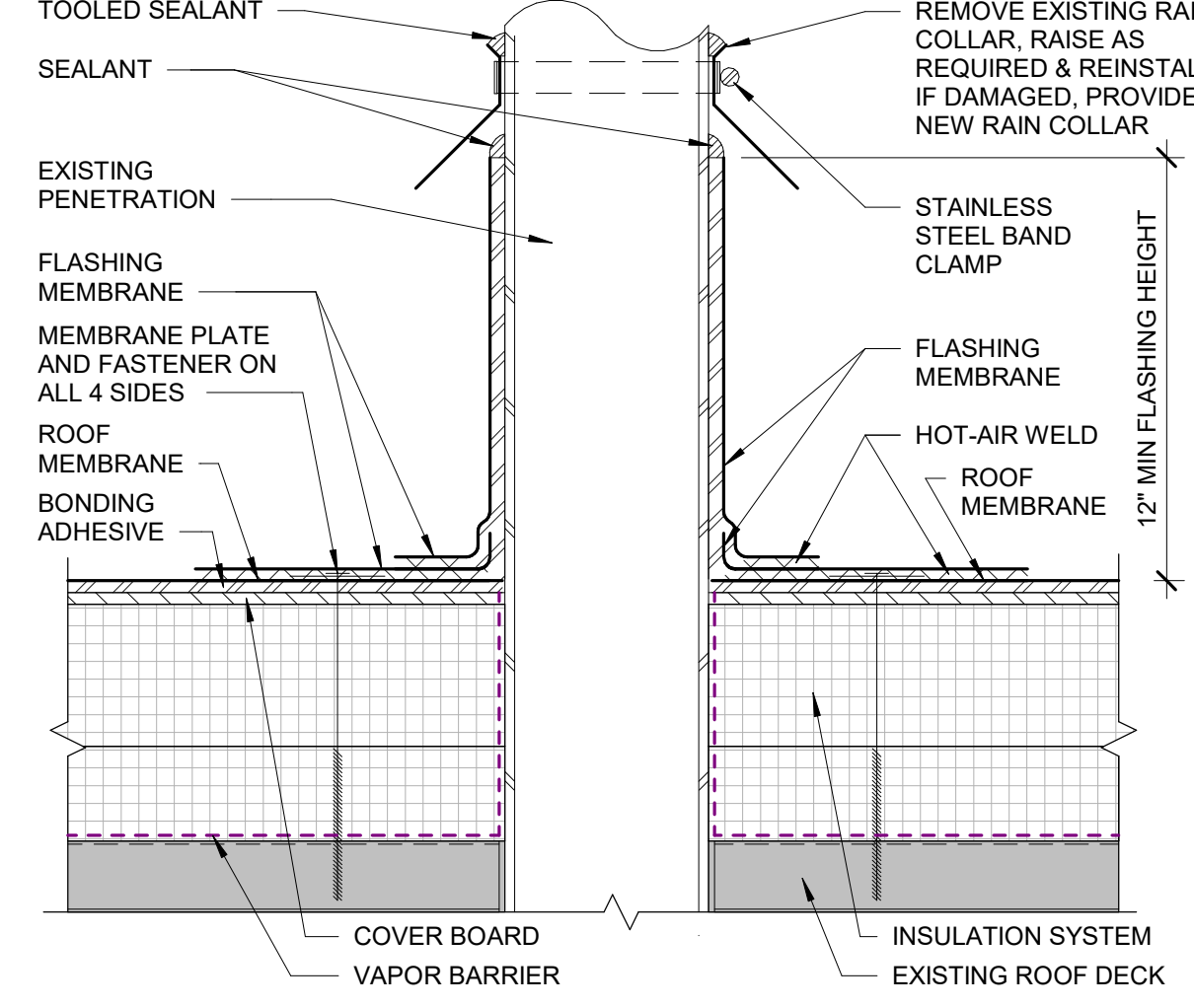
**ROOF TYPES:**  
JR. HIGH SCHOOL

- ROOF LEVEL "X"**
- 60 MIL PVC FULLY ADHERED
  - .25" GYPSUM COVER BOARD
  - 2" 0' & 3" 0' POLYISOCYANURATE INSULATION 2 LAYERS
  - (MIN. R-25)
  - SELF-ADHERED VAPOR BARRIER
  - EXISTING METAL DECK

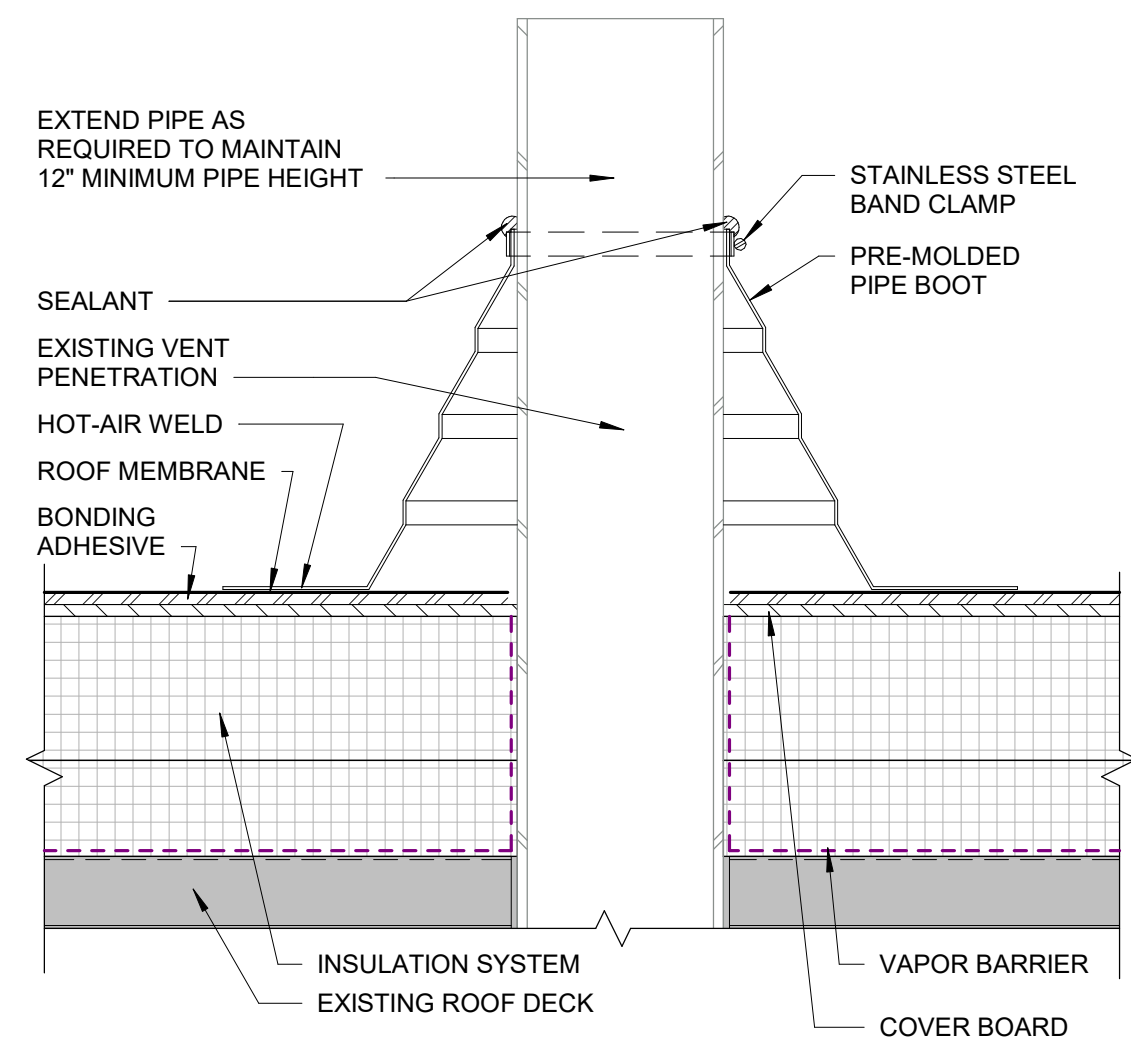
KEYNOTE LEGEND	
Key Value	Keynote Text
A03	ADD NEW NON-CORROSIVE FASTENERS TO EXISTING WOOD NAILERS TO RE-FASTEN EXISTING WOOD NAILERS TO THE EXISTING WALL AT 12" OC STAGGERED
A07	CAP EXISTING ROOF PENETRATION. IF OPENING IS ONE FOOT WIDE OR SMALLER COVER W/ 18 GA GALV SHEET METAL. IF OPENING IS LARGER THAN ONE FOOT WIDE, COVER W/ NEW 1/2" - 20 GA GALVANIZED ROOF DECK. NEW ROOF INfill SHALL EXTEND 6" ONTO EXISTING ROOF DECK ON ALL FOUR SIDES AND SHALL BE FASTENED 12" OC ON ALL FOUR SIDES.
A08	FURNISH AND INSTALL MANUFACTURER APPROVED WALKWAY PADS IN INDICATED LOCATIONS
A09	NEW PREFINISHED PARAPET PVC CLAD EDGE. COLOR (TAN) TO MATCH EXISTING VIF
A13	EXISTING LADDER TO BE CLEANED & REPAINTED. COLOR TO MATCH EXISTING
A14	MISSING DRAIN GRATE. PROVIDE NEW TO MATCH EXISTING DRAIN BOWL. VIF
AD02	REMOVE EXISTING ROOF EDGE AND CLEAN IN ITS ENTIRETY
AD03	REMOVE AND DISCARD EXISTING CONCRETE PAVERS



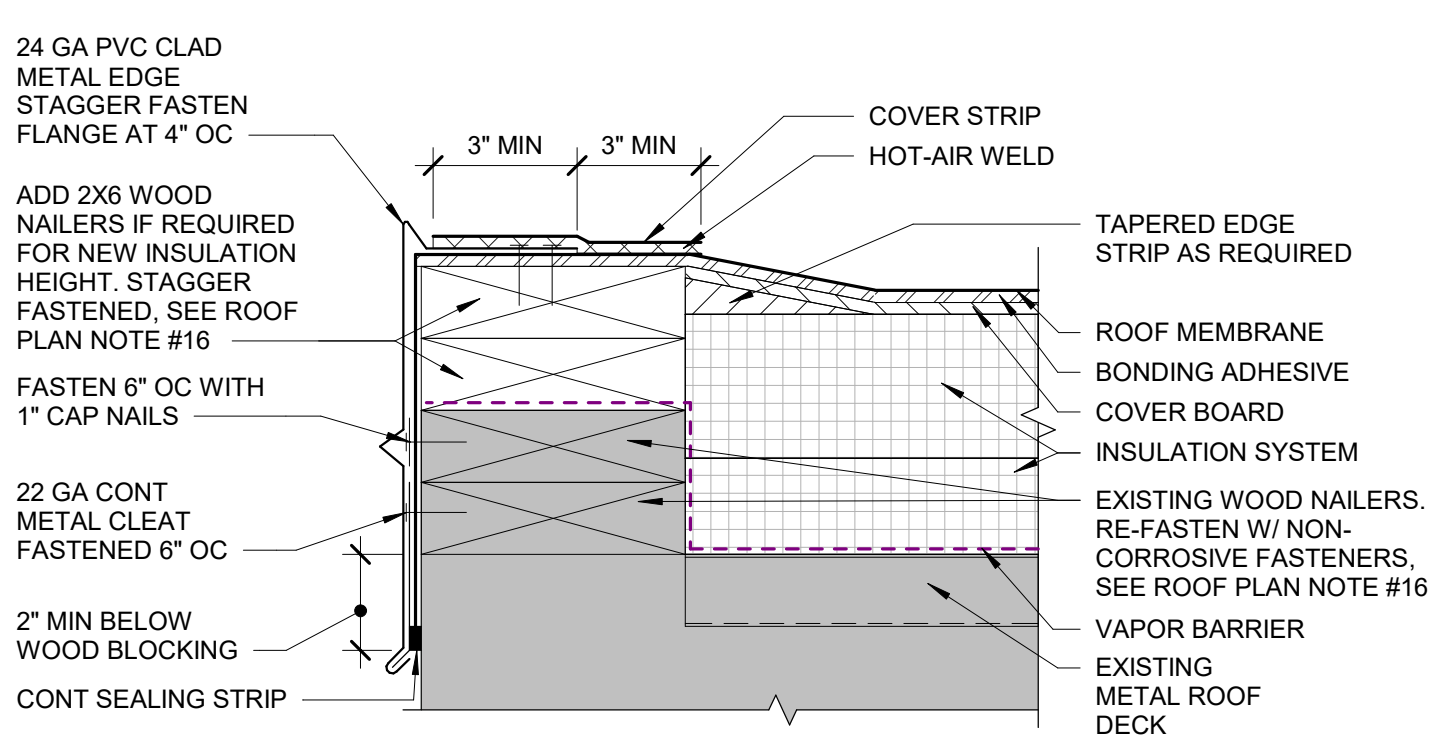
**2A ROOF DRAIN DETAIL**  
3" = 1'-0"



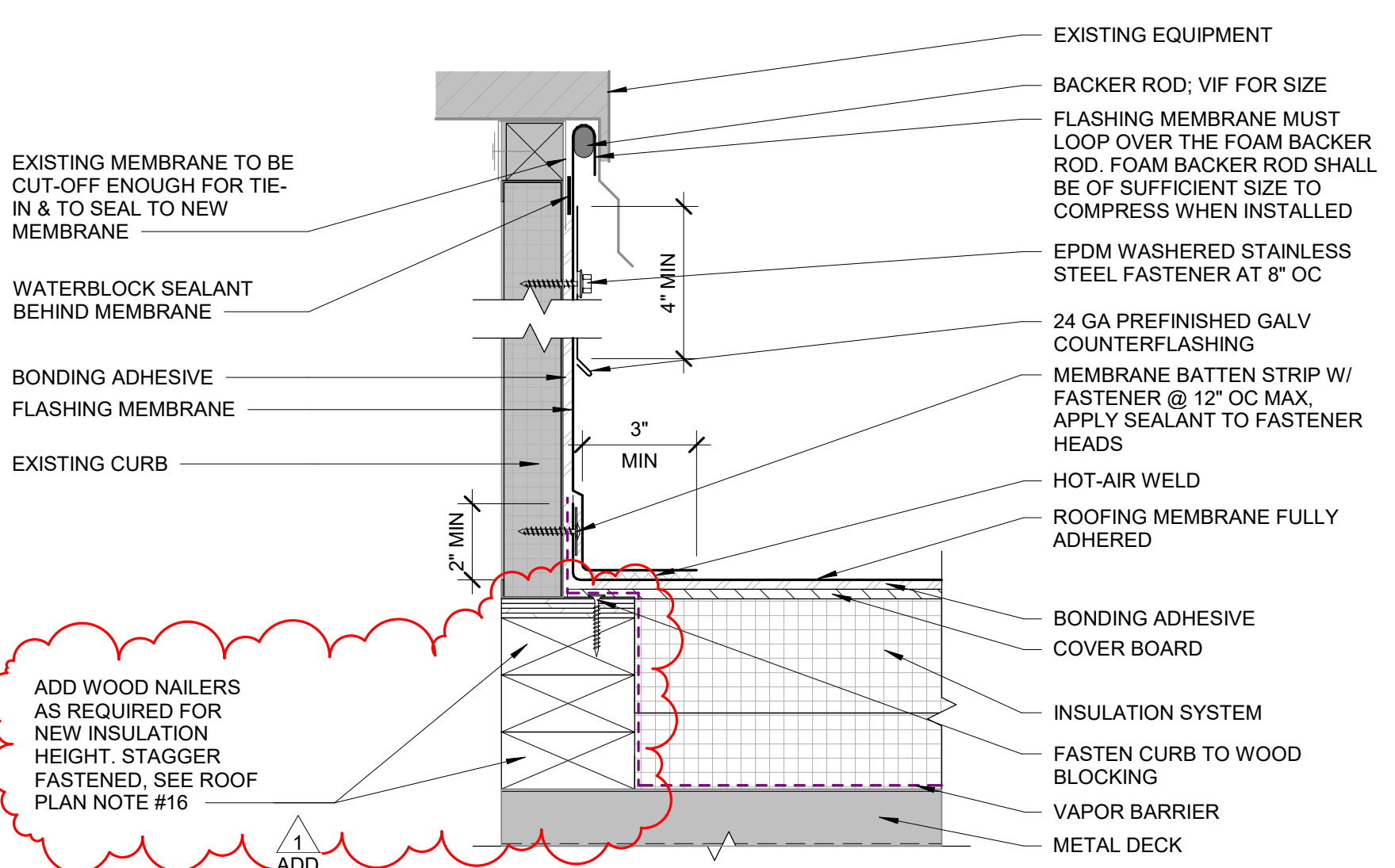
**2C DUCT PENETRATION DETAIL**  
3" = 1'-0"



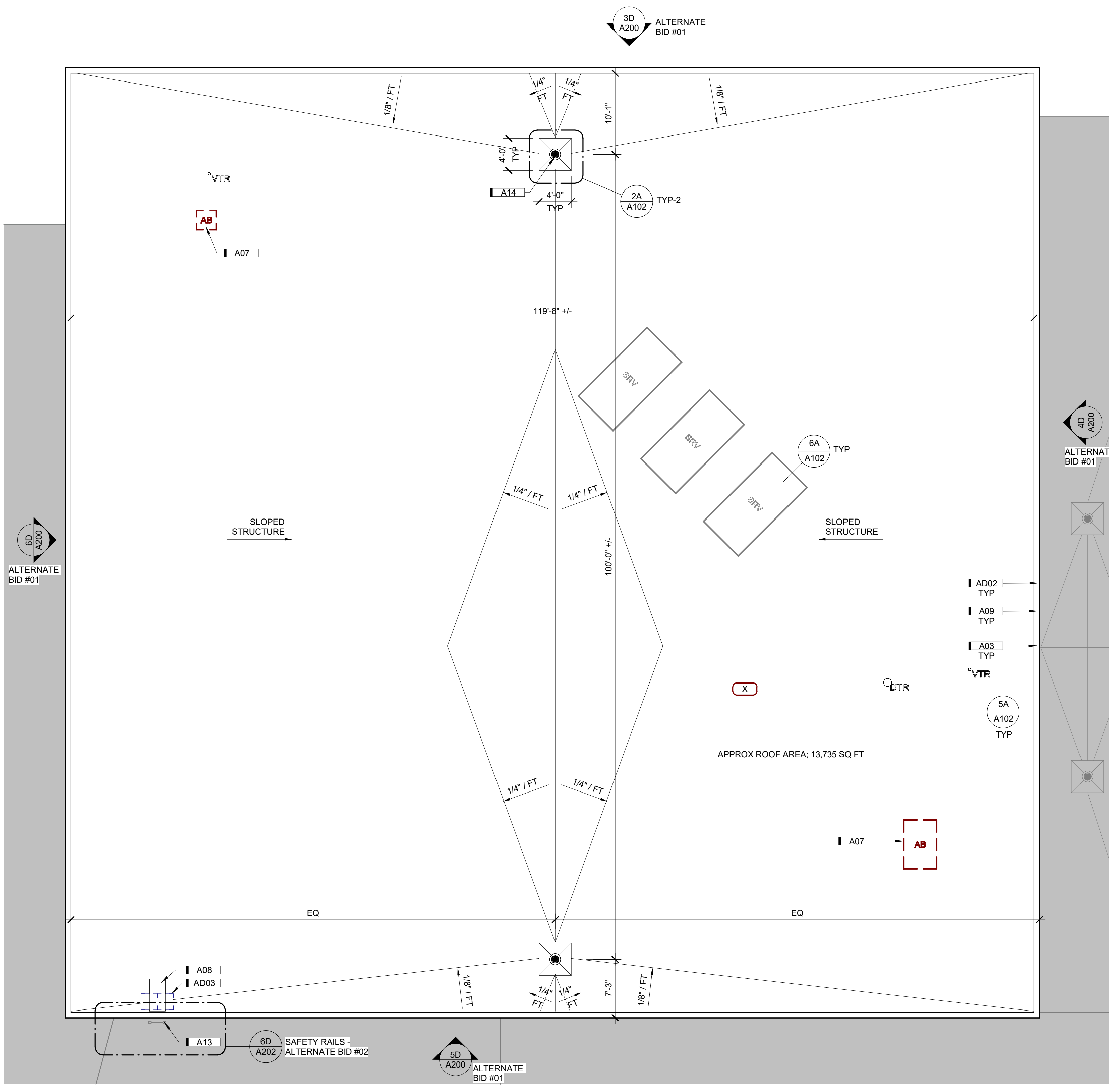
**3A PIPE BOOT DETAIL**  
3" = 1'-0"



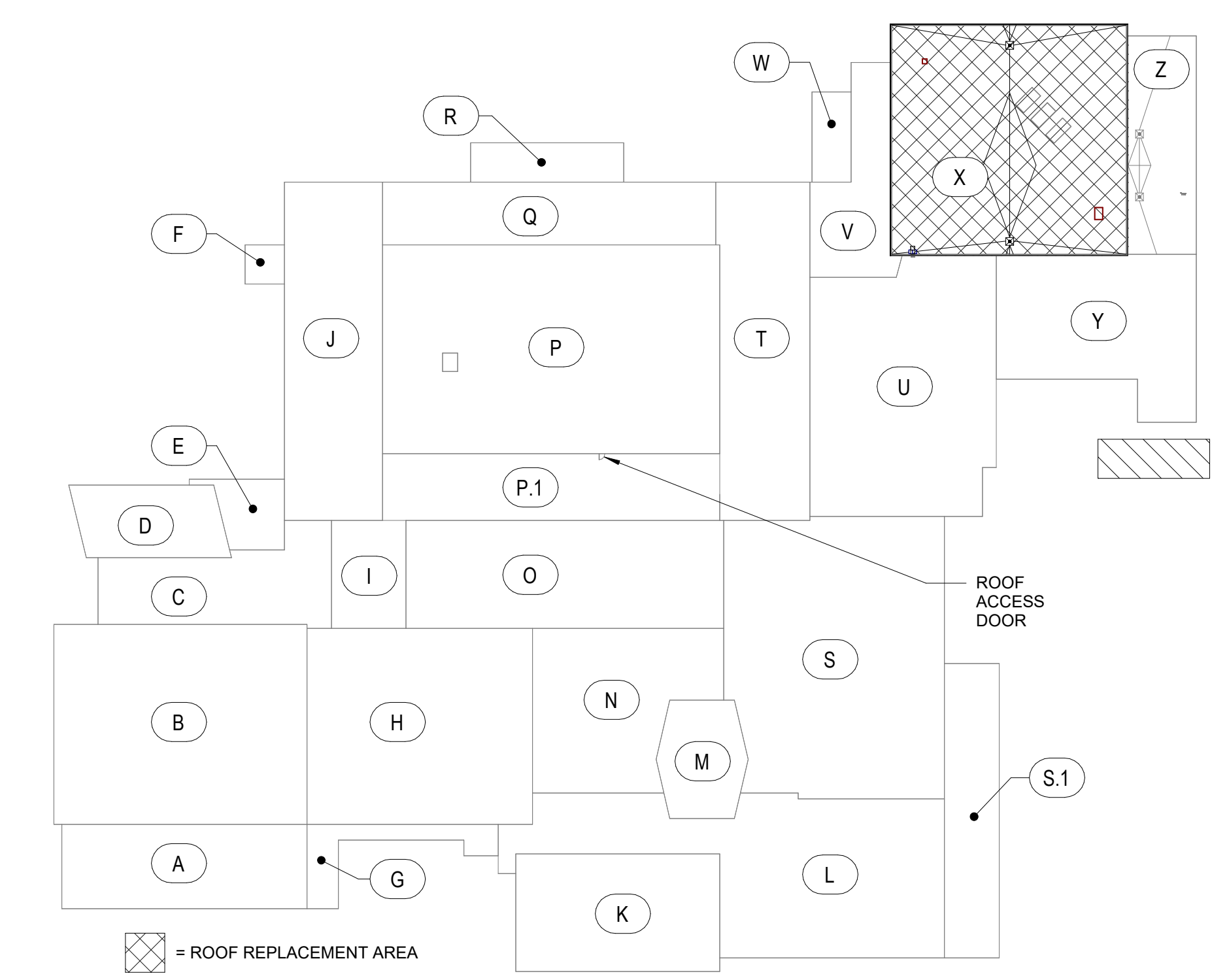
**5A ROOF EDGE DETAIL**  
3" = 1'-0"



**6A ROOF CURB DETAIL**  
3" = 1'-0"



**6C SE POLK JR. HIGH - PARTIAL ROOF PLAN ROOF AREA "X"**  
1/8" = 1'-0"



**6F SE POLK JR. HIGH ROOF KEY PLAN**  
1/64" = 1'-0"