

SEPCSD - 2025 ROOF IMPROVEMENTS

SOUTHEAST POLK COMMUNITY SCHOOL DISTRICT

8325 NE UNIVERSITY AVE, PLEASANT HILL, IA 50327

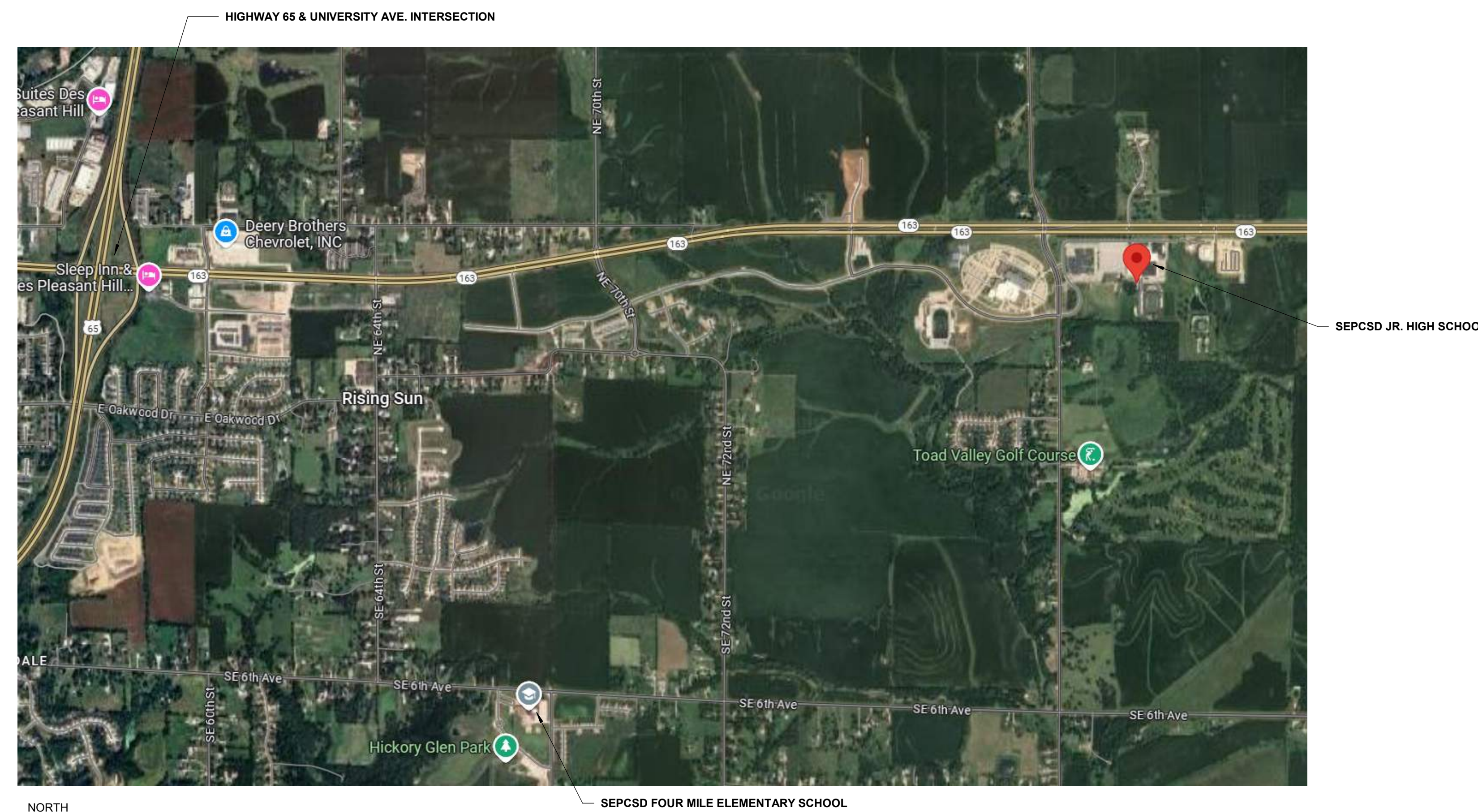
SHEET INDEX

SHEET LIST	
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GENERAL	
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A102	ROOF PLAN, NOTES & DETAILS - JR. HIGH SCHOOL
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A201	DUCT JOINTS - BID ALTERNATE - JR. HIGH SCHOOL
A202	DUCT JOINTS - BID ALTERNATE - JR. HIGH SCHOOL

CERTIFICATIONS

ARCHITECT

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.	
SIGNATURE	DATE
PRINTED OR TYPED NAME: Michael J. Kleene	
LICENSE NUMBER: 06592	
MY LICENSE RENEWAL DATE IS JUNE 30, 2024	
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL	
G000 & ALL "A" SHEETS	



1 PROJECT LOCATION MAP
N.T.S.



2 SEPCSD JR. HIGH - 8325 NE UNIVERSITY AVE., PLEASANT HILL, IA
N.T.S.



3 SEPCSD FOUR MILE ELEMENTARY - 670 SE 68TH ST., PLEASANT HILL, IA
N.T.S.

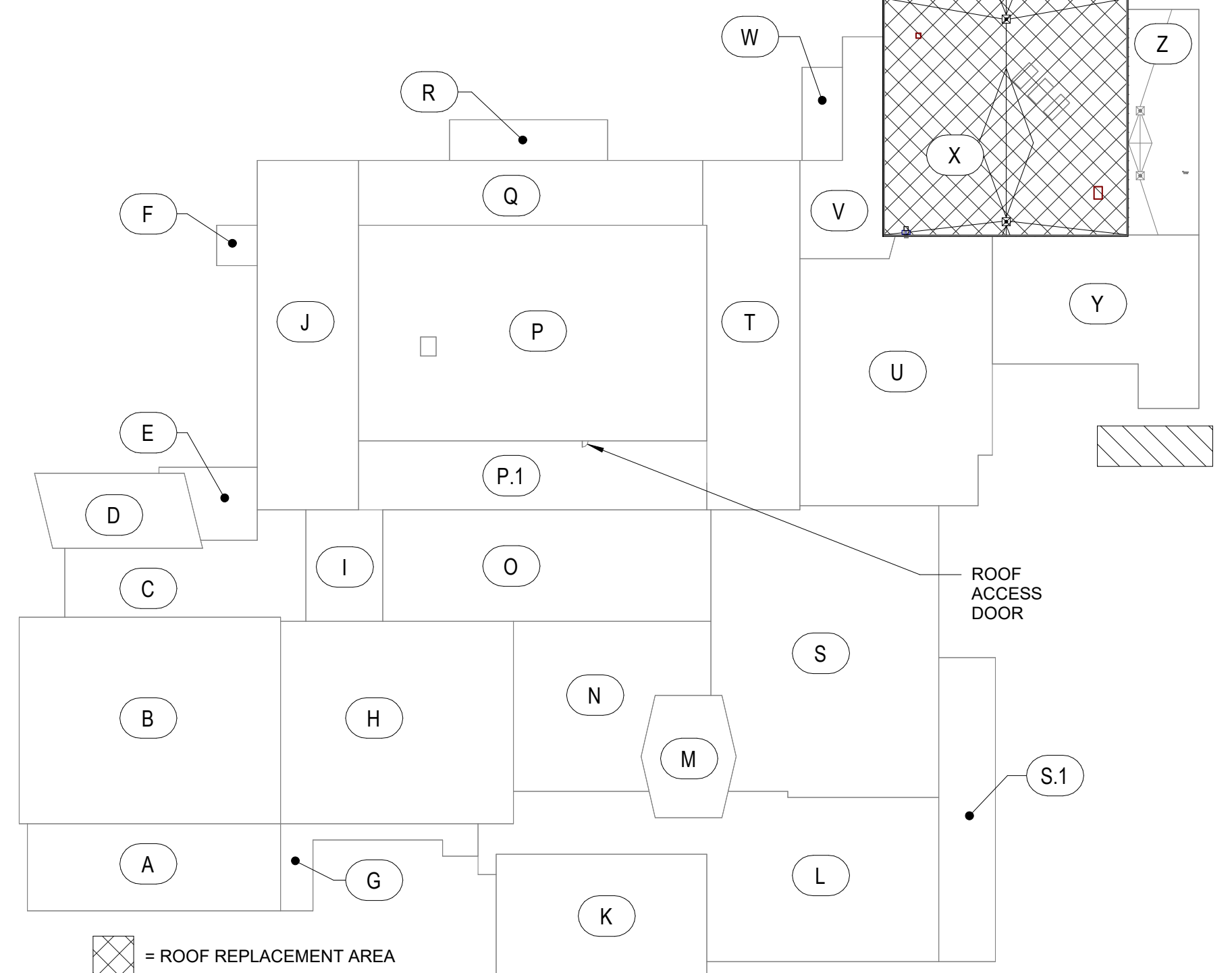
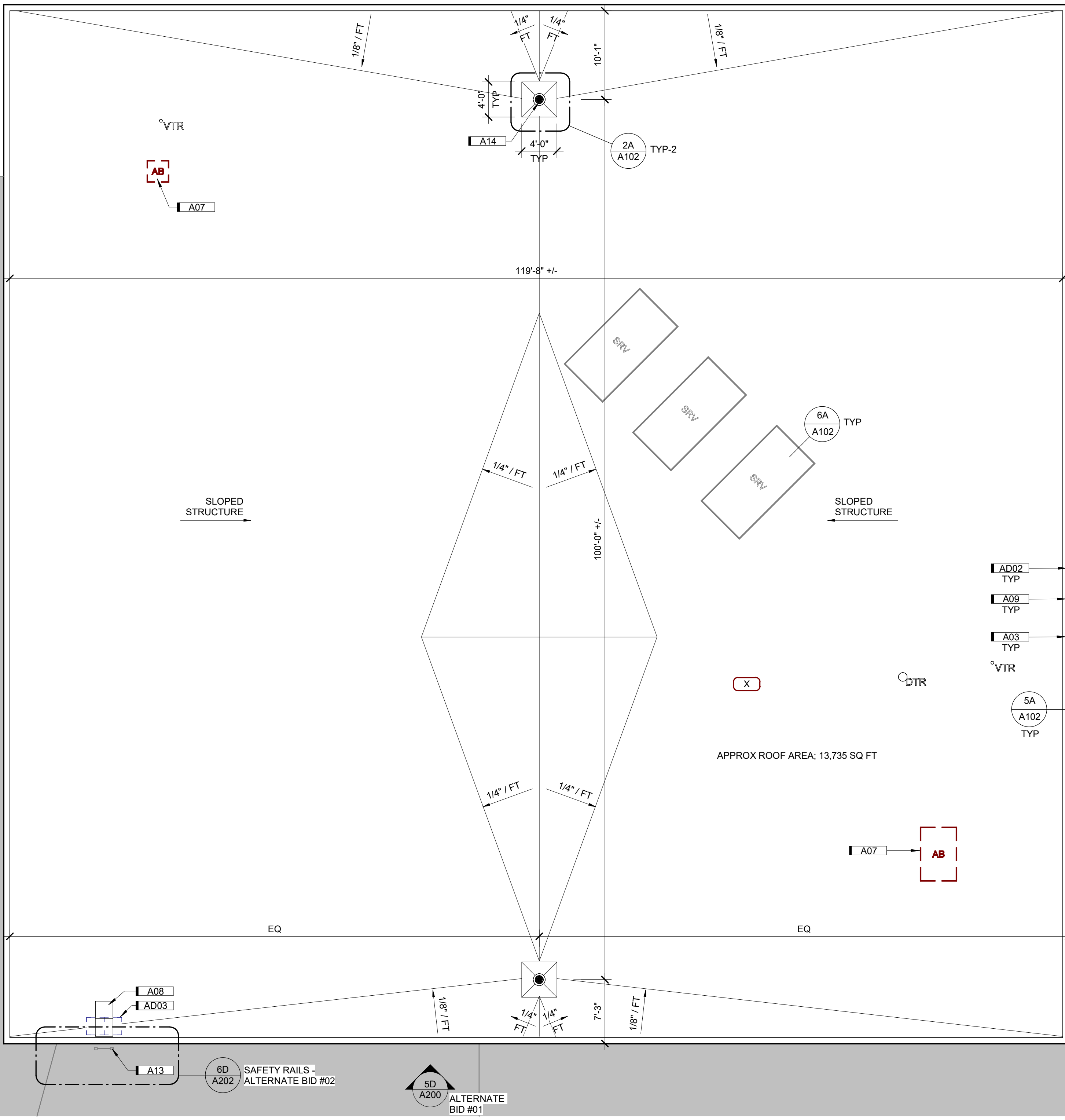
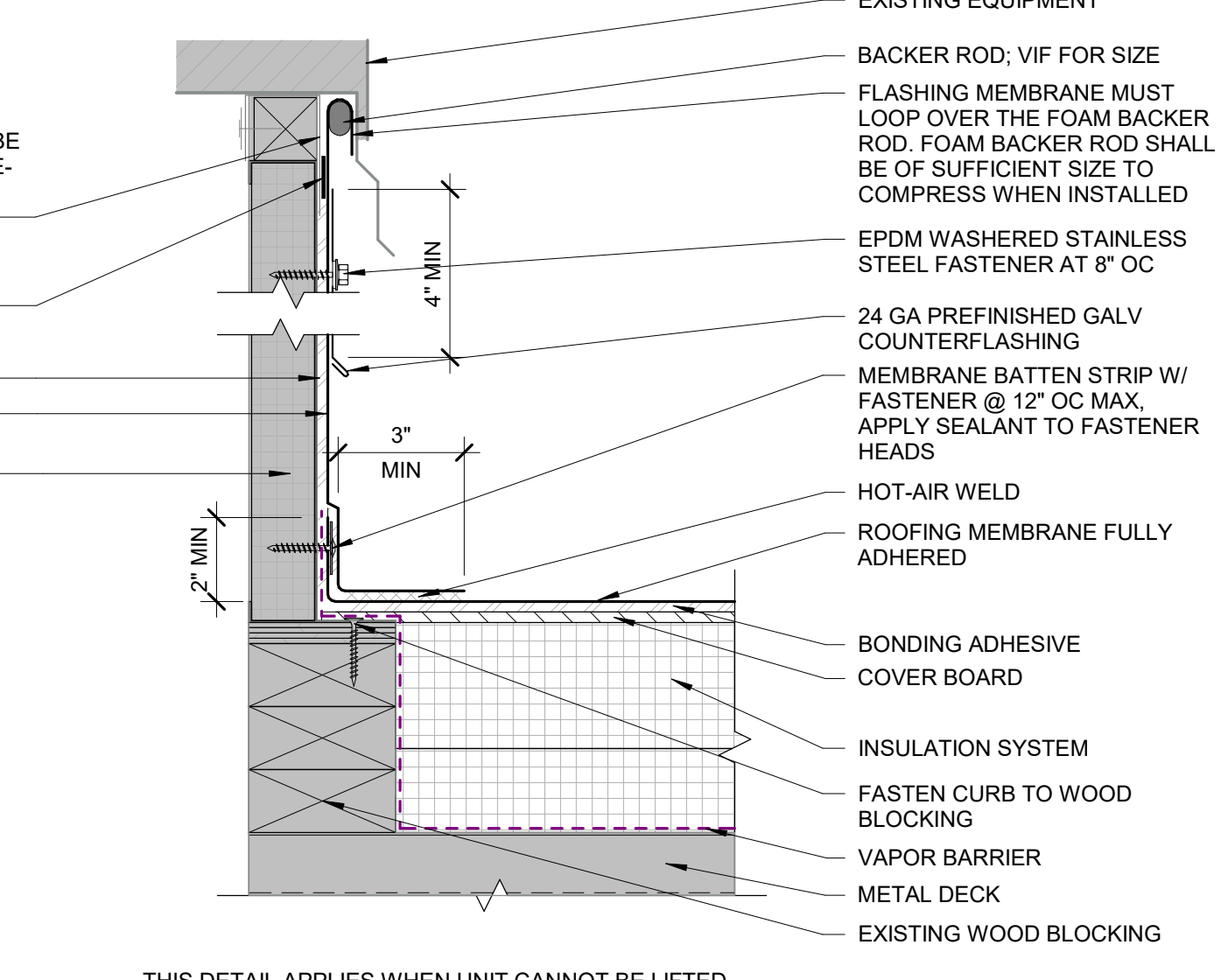
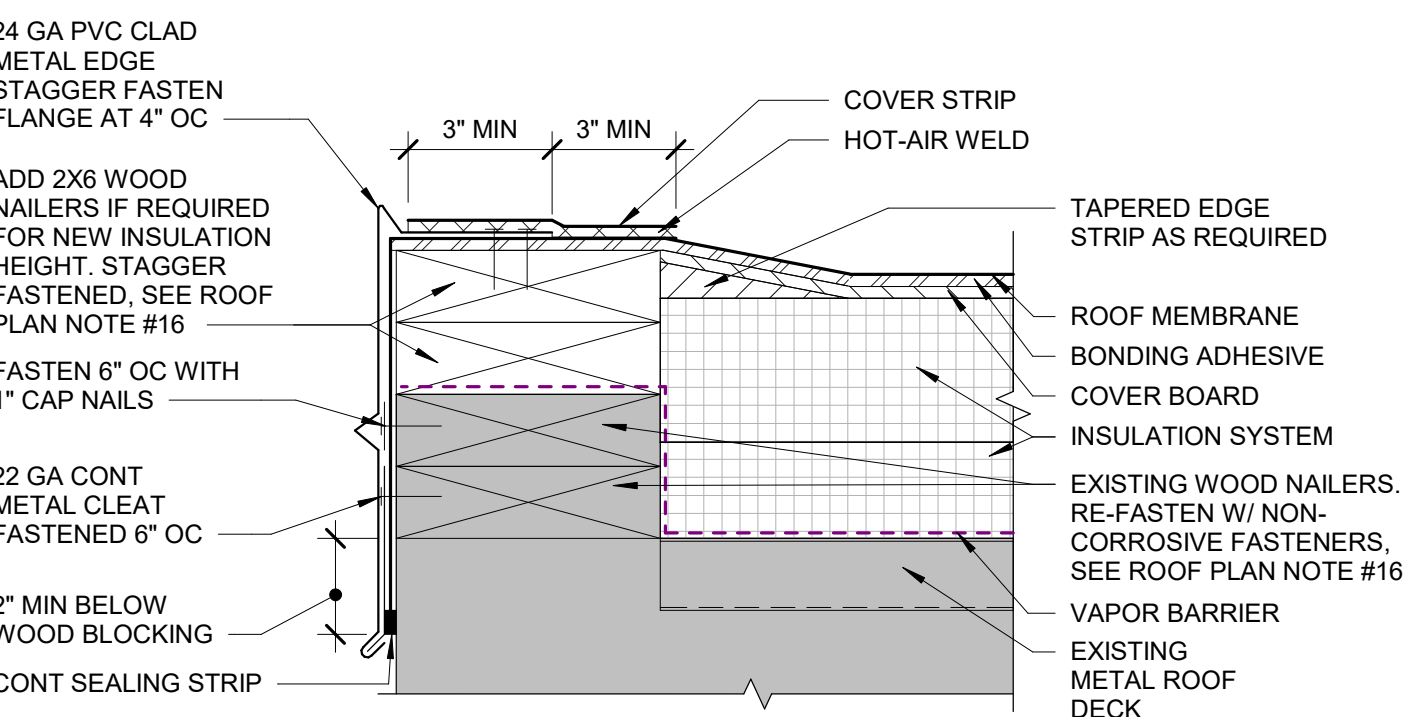
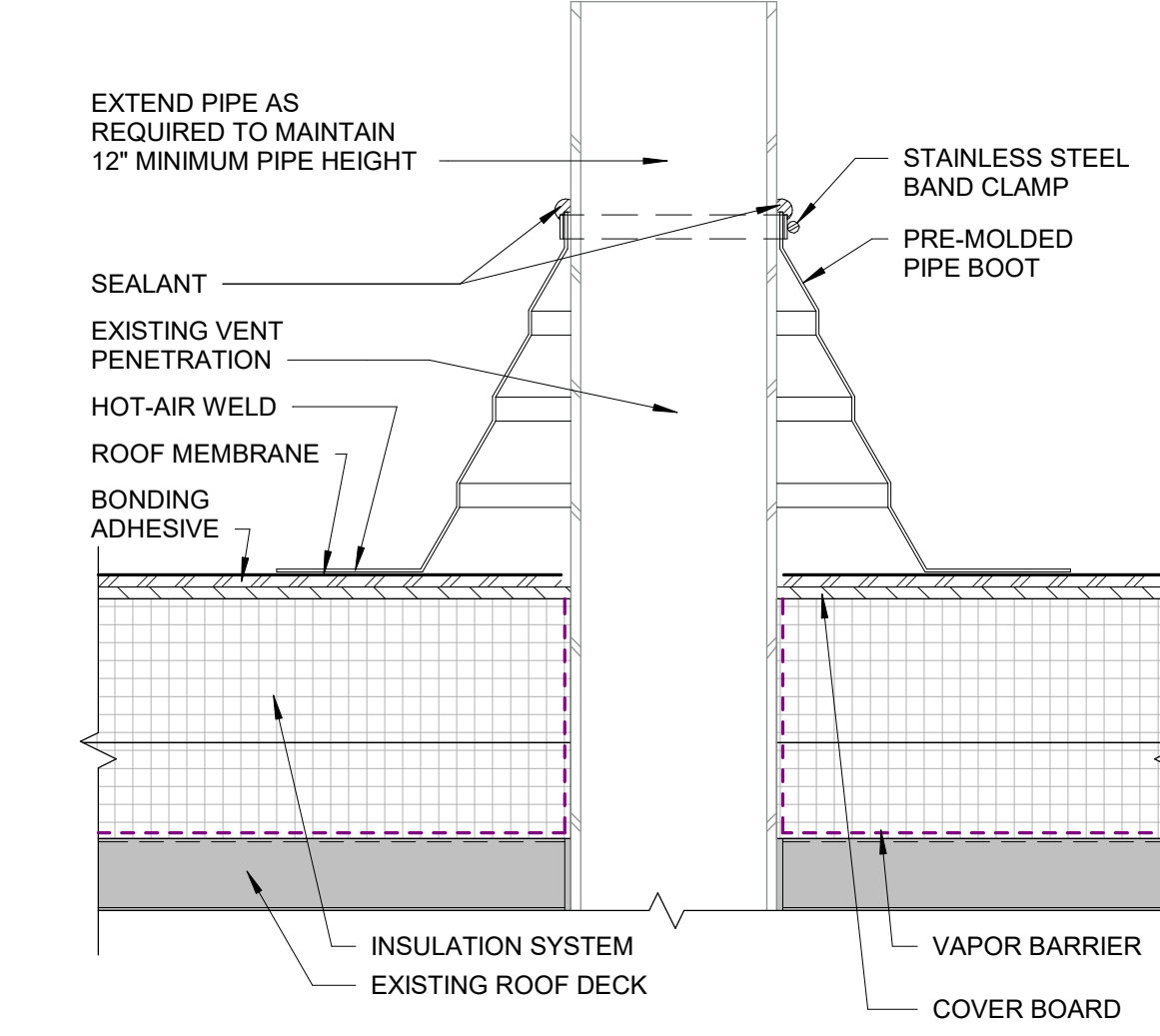
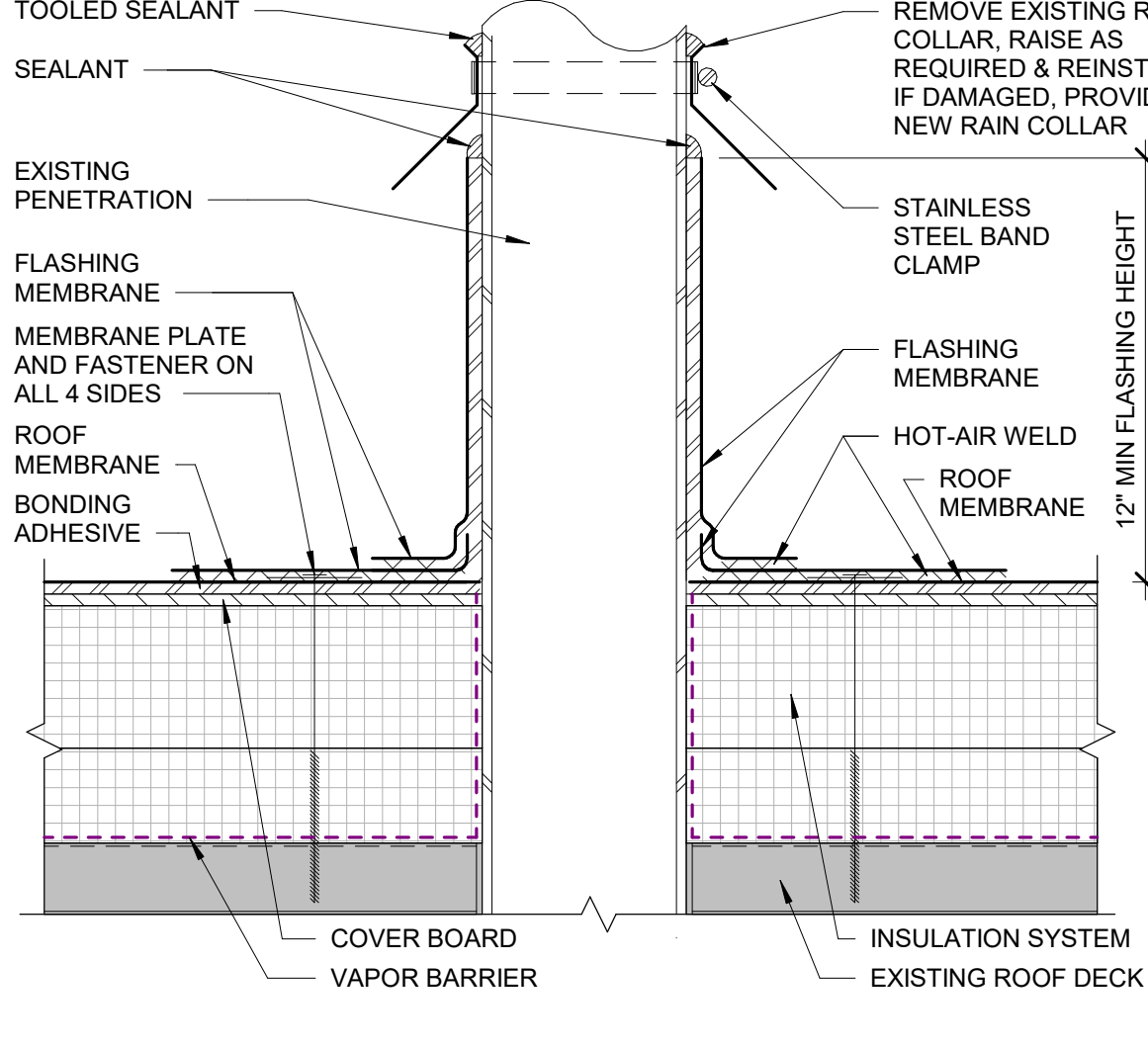
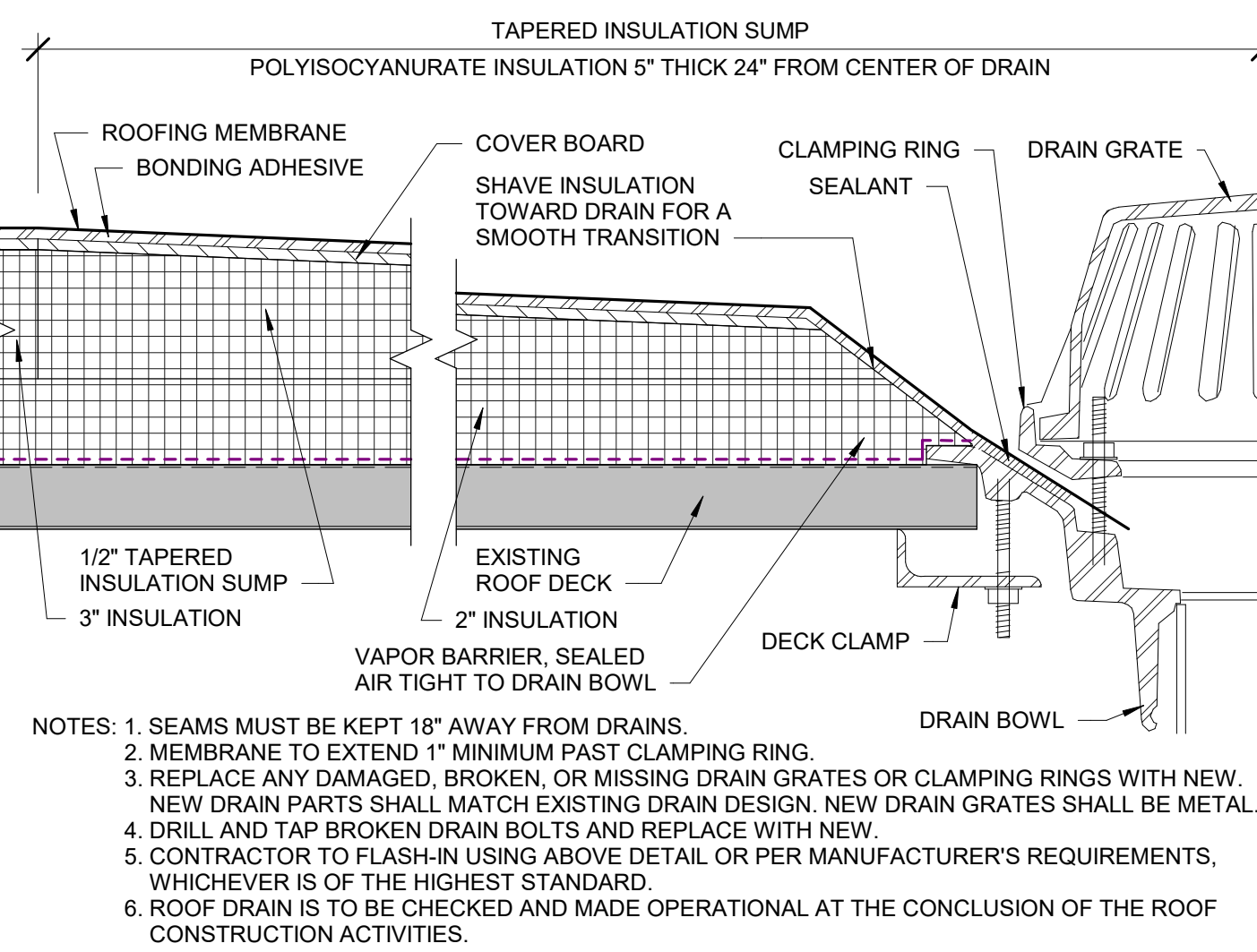
PLAN MARK	DESCRIPTION	REFERENCE
1/4" FT.	TAPERED INSULATION	N/A
(X)	DESIGNATES ROOF LEVEL, SEE ROOF TYPE.	N/A
(KEYNOTE)	KEYNOTES	N/A
(1 A1.0)	DESIGNATES DETAIL MARK SEE DETAIL 1 ON SHEET A1.0	N/A
(---)	ROOF EDGE	REFER TO ROOF PLAN
(---)	AREA NOT IN CONTRACT	N/A
(VTR)	PRIMARY ROOF DRAIN W/ SUMP	REFER TO ROOF PLAN
(AD)	ABANDON CURB	REFER TO DETAIL A07
(SRV)	SMOKE RELIEF VENT	REFER TO DETAIL 6A/A102
(DTR)	ROUND DUCT THROUGH ROOF	REFER TO DETAIL 2C/A102

ROOF PLAN NOTES

- ROOF PLAN LAYOUT, LOCATION, AND SECTIONS WERE TAKEN FROM EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS.
- THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
- REMOVE EXISTING ROOF SYSTEMS DOWN TO THE EXISTING DECK.
- REMOVE EXISTING SHEET METAL, UNLESS NOTED OTHERWISE. AND REPLACE WITH NEW AS PLANS SHOW. ALL PERIMETER WOOD BLOCKING SHALL BE OF UNIFORM HEIGHT AND OF A MINIMUM HEIGHT TO MATCH THE THICKNESS OF THE NEW INSULATION SYSTEM. THE CONTRACTOR SHALL VERIFY HEIGHT OF ALL WOOD BLOCKING.
- FIELD VERIFY ALL DIMENSIONS OF BUILDING AND DRAIN LOCATIONS BEFORE ORDERING INSULATION MATERIALS. SUBMIT TAPERED INSULATION LAYOUT PLAN. SEE SPECIFICATION SECTION 07 22 00 FOR SYSTEM DESCRIPTION.
- ALL EXISTING METAL HOODS, VENTS, CAPS, ETC., REMOVED AND REINSTALLED DURING CONSTRUCTION SHALL BE PROPERLY REFASTENED TO PROVIDE WATERTIGHT CONDITIONS.
- RAISE ALL CURBS AND VENTS WHICH DO NOT MEET THE 8" MINIMUM FLASHING HEIGHT REQUIREMENT.
- FLASH ALL SCUPPERS, CURBS, VENTS AND STACKS AS SHOWN IN PLAN. REFER TO MANUFACTURER'S STANDARD DETAILS AND RECOMMENDATIONS FOR ANY MISCELLANEOUS DETAILS NOT SHOWN IN THE PLANS.
- USE OF MANUFACTURER-APPROVED PENETRATION POCKET WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED IN WRITING FROM SHIVE-HATTERY, INC. PRIOR TO INSTALLATION.
- PROVIDE DISCONNECT AND RECONNECT OF MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW ROOF SYSTEM AND INCREASE IN HEIGHT OF CURB. VERIFY EQUIPMENT IS OPERATIONAL WHEN WORK IS COMPLETE. COORDINATE THIS WORK WITH THE OWNER.
- MAINTAIN WATER TIGHT CONDITIONS AT ALL TIMES DURING CONSTRUCTION.
- PROTECT ROOF SYSTEM ON THE BUILDING. A MINIMUM LAYER OF 1.5" INSULATION WITH A LAYER OF 1/2" PLYWOOD SHALL BE LAID OVER THE ROOF SYSTEM IN A CONTINUOUS FASHION AS WORK PROGRESSES AROUND THE BUILDING. ANY DAMAGE TO THE ROOF SYSTEM WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR.
- PROTECT AND REPAIR OF ANY DAMAGE CAUSED DURING CONSTRUCTION TO THE SURROUNDING GROUNDS. (GRASS, CONCRETE, ETC.)
- REPLACE ANY DAMAGED BROKEN OR MISSING DRAIN GRATES, CLAMPING RINGS AND BOLTS WITH NEW. NEW DRAIN PARTS SHALL MATCH EXISTING DRAIN DESIGN. NEW DRAIN GRATES SHALL BE METAL. EXISTING PLASTIC DRAIN GRATES SHALL BE REPLACED WITH METAL DRAIN GRATES. ALL DRAINS SHALL BE TESTED AND MADE OPERATIONAL PRIOR TO COMPLETION OF PROJECT.
- EXISTING ROOF SYSTEM CONSISTS WITH 2 LAYERS OF 1" POLYISO WITH ASPHALT ON METAL DECK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING INSULATION DEPTH AT ALL CURBS AND PENETRATIONS.
- ALL PERIMETER WOOD BLOCKING SHALL BE OF UNIFORM HEIGHT AND OF A MINIMUM HEIGHT TO MATCH THE MAXIMUM THICKNESS OF THE NEW INSULATION SYSTEM. THE CONTRACTOR SHALL VERIFY HEIGHT OF ALL WOOD BLOCKING. CONTRACTOR SHALL FASTEN UNSECURED EXISTING WOOD BLOCKING AND NEW WOOD BLOCKING ACCORDING TO THE FOLLOWING REQUIREMENTS - UNLESS OTHERWISE NOTED:
 - A. WOOD TO WOOD CONNECTIONS SHALL BE FASTENED WITH #12-16X3" SENTRY PLUS FIRE TRUSS HEAD FASTENERS BY TFC (OR APPROVED EQUIVALENT) 2 ROWS STAGGERED 24" OC AND AT 12" OC WITHIN 8'-0" OF OUTSIDE CORNERS. FASTENER MUST MEET MINIMUM OF 100# PULL-OUT VALUE.
 - B. WOOD TO MASONRY CONNECTIONS SHALL BE FASTENED WITH 1/4"x4" TRIANGLE TAPCON BY TFC (OR APPROVED EQUIVALENT). AT 24" OC MAX AND 12" OC WITHIN 8'-0" OF OUTSIDE CORNERS.
 - C. WOOD TO STEEL CONNECTIONS SHALL BE FASTENED WITH 1/4" - #14X4" BLAZER SELF DRILLING FASTENER BY TFC (OR APPROVED EQUIVALENT). AT 4'-0" OC MAX AND AT 2'-0" OC WITHIN 8'-0" OF OUTSIDE CORNERS.
- KEYNOTE LIST IS SPECIFIC TO THIS SHEET.

Key Value	Keynote Text
A03	ADD NEW NON-CORROSIVE FASTENERS TO EXISTING WOOD NAILERS TO RE-FASTEN EXISTING WOOD NAILERS TO THE EXISTING WALL AT 12" OC STAGGERED
A07	CAP EXISTING ROOF PENETRATION. IF OPENING IS ONE FOOT WIDE OR SMALLER COVER W/ 18 GA GALV SHEET METAL. IF OPENING IS LARGER THAN ONE FOOT WIDE, COVER W/ NEW 1/2" - 20 GA GALVANIZED ROOF DECK. NEW ROOF IN-fill SHALL EXTEND 6" ONTO EXISTING ROOF DECK ON ALL FOUR SIDES AND SHALL BE FASTENED 12" OC ON ALL FOUR SIDES.
A08	FURNISH AND INSTALL MANUFACTURER APPROVED WALKWAY PADS IN INDICATED LOCATIONS
A09	NEW PREFINISHED PARAPET PVC CLAD EDGE. COLOR (TAN) TO MATCH EXISTING VIF
A13	EXISTING LADDER TO BE CLEANED & REPAINTED. COLOR TO MATCH EXISTING
A14	MISSING DRAIN GRATE. PROVIDE NEW TO MATCH EXISTING DRAIN BOWL. VIF
AD02	REMOVE EXISTING ROOF EDGE AND CLEAT IN ITS ENTIRETY
AD03	REMOVE AND DISCARD EXISTING CONCRETE PAVERS

KEYNOTE LEGEND



KEYNOTES	
KEY	NOTE
A07	FURNISH AND INSTALL NEW GAS & CONDENSER LINE SUPPORTS; MODEL 5-RAH-8 BY MIRO INDUSTRIES, INC OR EQUIVALENT. FURNISH AND INSTALL A MEMBRANE SLIP SHEET UNDER SUPPORT DURING INSTALLATION
A08	EXISTING PAVERS
A13	EXISTING METAL GRAVEL STOP TO REMAIN & BE PROTECTED DURING CONSTRUCTION
A14	BID ALTERNATE #04: INSTALL NEW 3X7' INSULATED METAL DOOR W/ HOLLOW METAL FRAME ON ALL FOUR SIDES. PAINT DOOR TO MATCH EXISTING METAL PANEL COLOR. VIF. INSTALL DOOR W/ SILL 8" MIN ABOVE EXISTING ROOFING LEVEL. FRAME DOOR OPENING W/ 6" METAL STUD FRAMING & FASTEN TO EXISTING WALL AS REQUIRED. INSTALL BACKER ROD W/ SEALANT ON ALL SIDES OF DOOR FRAME. MAKE WEATERTIGHT DOOR. CONTRACTOR TO VERIFY EXISTING CONDITIONS BEFORE ORDERING DOOR.
A15	BID ALTERNATE #04: DOOR HARDWARE TO INCLUDE 3 HEAVY HINGES 14A3786 FT 5" X 4-1/2" BY MCKINNEY, STOREROOM LOCK 11004-LLJ526D BY SARGENT, COORDINATE KEY W/ SEPCSD AT. GARY HAINES DOOR CLOSER 391-EN BY SARGENT, RAIN GUARD 349A TKSPB BY PEMKO, GASKETING 2891APK TKSPB BY PEMKO, SWEEP 242CNB TKSPB BY PEMKO
A16	DASH LINE INDICATES EXISTING METAL PANEL OVERHANG
A17	BID ALTERNATE #04: PATCH SIDES & TOP OF EXISTING METAL PANEL W/ PREFINISHED BRAKE METAL. VIF. COLOR TO MATCH EXISTING METAL PANEL.
A21	ALL TAPERED INSULATION USED TO CREATE ADEQUATE DRAINAGE BEHIND MECHANICAL UNITS AND FOR CRICKETS/SADDLES SHALL BE SLOPED AT 1/2"/FT
A22	FURNISH AND INSTALL MANUFACTURER APPROVED WALKWAY PADS IN INDICATED LOCATIONS
AD02	REMOVE EXISTING GUTTER, DOWNSPOUT & DISCARD
AD03	REMOVE EXISTING SPLASH BLOCK & DISCARD
AD04	REMOVE EXISTING ROOF EDGE IN ITS ENTIRETY
AD06	BID ALTERNATE #04: REMOVE PORTION OF EXISTING WALL, METAL PANEL & ASSOCIATED FRAMING FOR NEW DOOR. VIF EXISTING CONDITIONS, SEE EXISTING REFERENCE PHOTOS ON VIEW 4A/A103

ROOF LEGEND		
PLAN MARK	DESCRIPTION	REFERENCE
1/4" FT.	TAPERED INSULATION	N/A
(X)	WALK PADS - NEW	A22 TYP
(A#)	DESIGNATES ROOF LEVEL. SEE ROOF TYPES.	N/A
(A#)	KEYNOTES	N/A
(1 A1.0)	DESIGNATES DETAIL MARK SEE DETAIL 1.0 V SHEET A1.0	N/A
(---)	PARAPET WALL	REFER TO ROOF PLAN
(---)	ROOF EDGE	REFER TO ROOF PLAN
(---)	PRIMARY ROOF DRAIN W/ SUMP	REFER TO ROOF PLAN
(VTR)	VENT THROUGH ROOF	DETAIL 5E/A103D
(E)	ROOF AREA NOT IN CONTRACT	N/A
(G)	EXHAUST FAN	DETAIL 6E/A103D
(G)	GAS PIPE	A07
(C)	CONDENSATION PIPE	A07

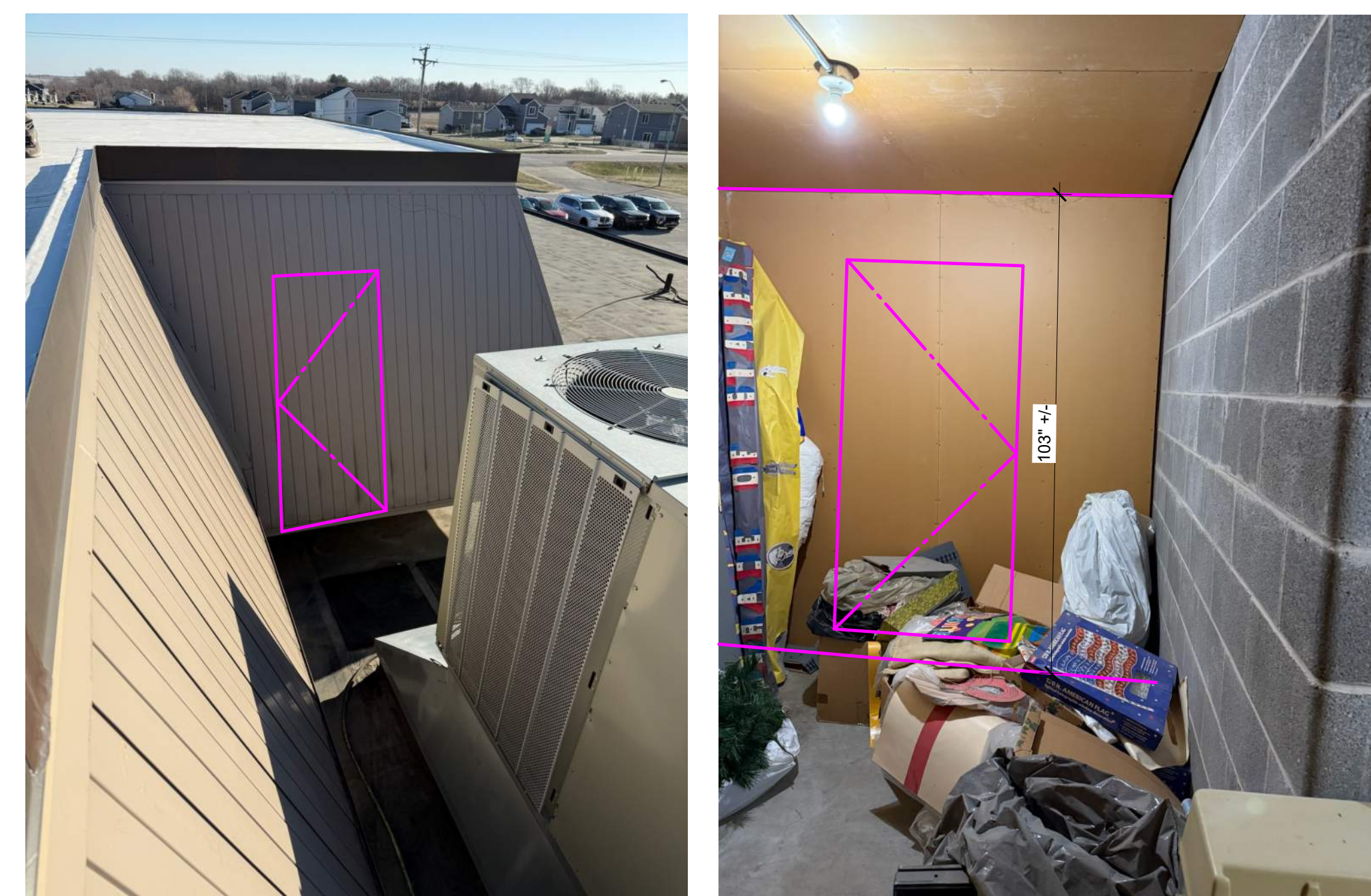
ROOF PLAN NOTES

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 - A. WOOD TO WOOD CONNECTIONS SHALL BE FASTENED WITH #12-15X3" SENTRY PLUS FIRE TRUSS HEAD FASTENERS BY TFC (OR APPROVED EQUIVALENT) 2 ROWS STAGGERED 24" OC AND AT 12" OC WITHIN 8'-0" OF OUTSIDE CORNERS. FASTENER MUST MEET MINIMUM OF 100# PULL-OUT VALUE.
 - B. WOOD TO MASONRY CONNECTIONS SHALL BE FASTENED WITH 1/4"x4" TRIANGLE TAPCON BY TFC (OR APPROVED EQUIVALENT), AT 24" OC MAX AND 12" OC WITHIN 8'-0" OF OUTSIDE CORNERS.
 - C. WOOD TO STEEL CONNECTIONS SHALL BE FASTENED WITH 1/4" - #14X4" BLAZER SELF DRILLING FASTENER BY TFC (OR APPROVED EQUIVALENT), AT 4" OC MAX AND AT 2'-0" OC WITHIN 8'-0" OF OUTSIDE CORNERS.
- REPLACE ANY DAMAGED BROKEN OR MISSING DRAIN GRATES, CLAMPING RINGS AND BOLTS WITH NEW. NEW DRAIN PARTS SHALL MATCH EXISTING DRAIN DESIGN. NEW DRAIN GRATES SHALL BE METAL. EXISTING PLASTIC DRAIN GRATES SHALL BE REPLACED WITH METAL DRAIN GRATES. ALL DRAINS SHALL BE TESTED AND MADE OPERATIONAL PRIOR TO COMPLETION OF PROJECT.
- PRIOR TO BID, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING ROOF SYSTEM AND CONDITIONS. THIS INCLUDES VERIFYING STRUCTURAL SLOPE AND INSULATION DEPTH AT ALL CURBS AND PENETRATIONS.
- ADJUST GAS PIPING AND STANDS TO UNIFORM HEIGHT WITH COMPOSITE BLOCKING. INSTALL SACRIFICE MEMBRANE AT PIPE STANDS TO PROTECT ROOF MEMBRANE.
- KEYNOTE LIST IS SPECIFIC TO THIS SHEET.

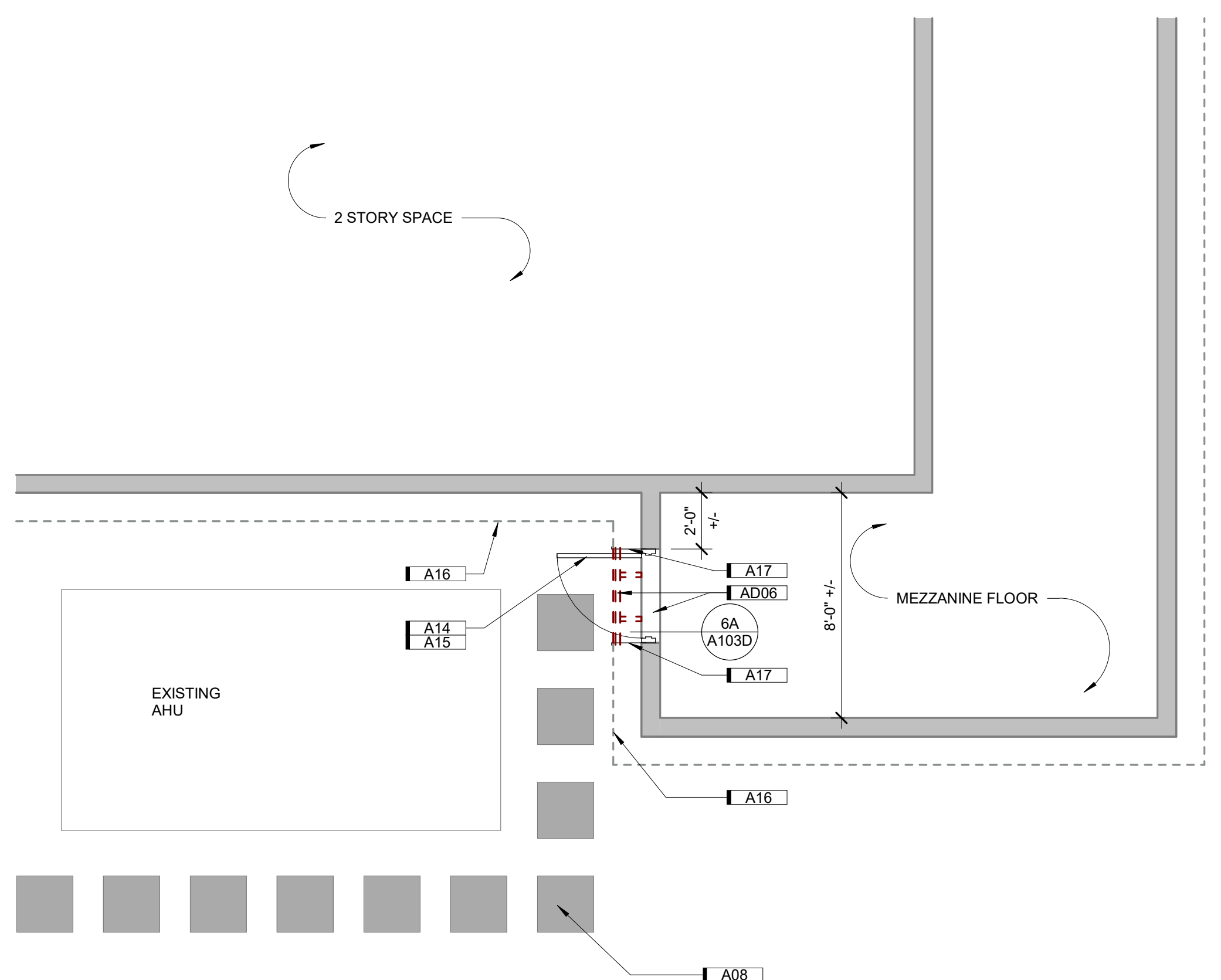
ROOF TYPES: (X) FOUR MILE ELEMENTARY SCHOOL

ROOF LEVEL "C.2"
90 MIL EPDM FULLY ADHERED
25' GYPSUM COVER BOARD
2.0" & 3.0" POLYISOCYANURATE INSULATION 2 LAYERS (MIN R-25 VALUE)
SELF-ADHERED VAPOR BARRIER
EXISTING METAL DECK

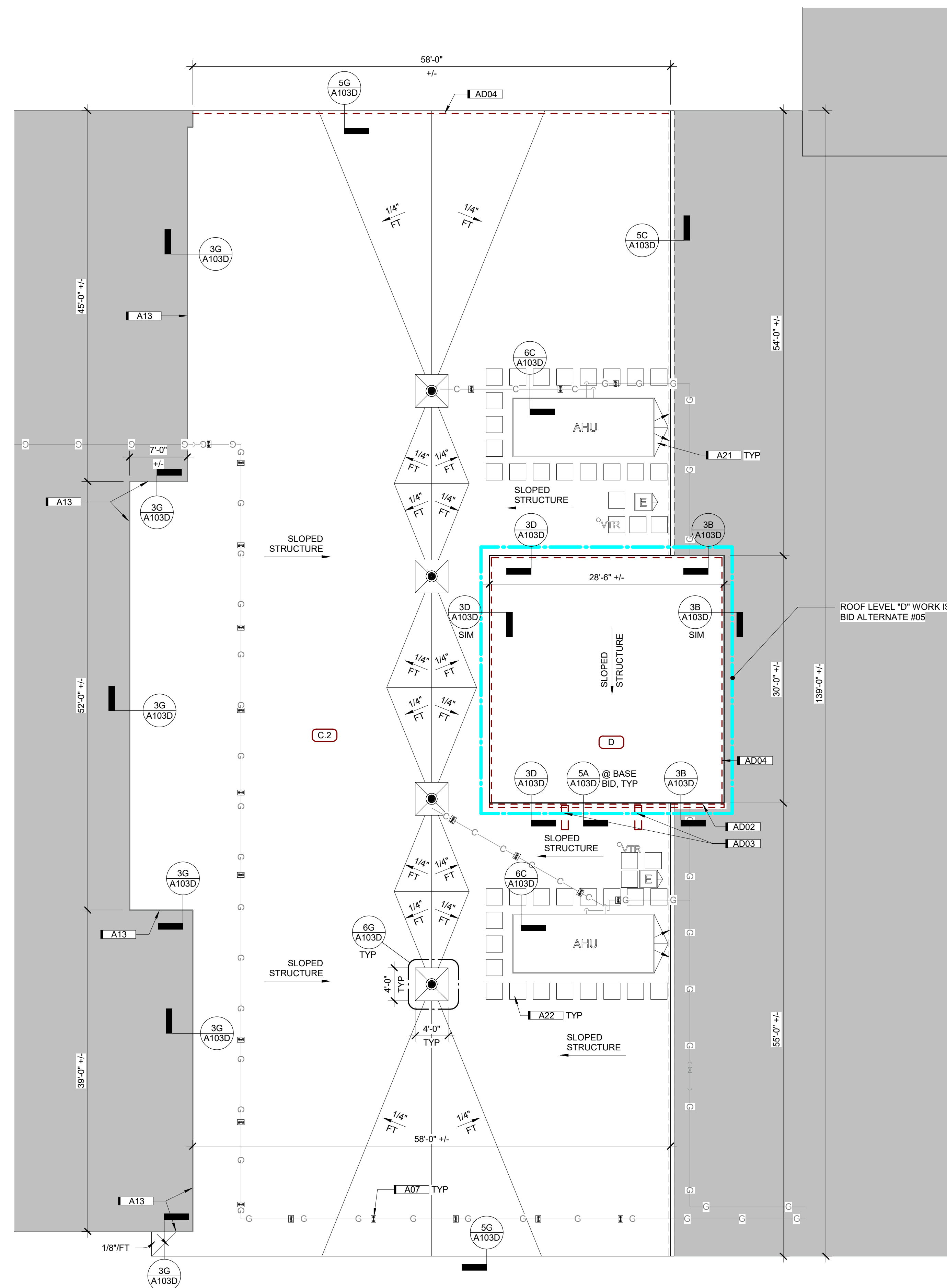
ROOF LEVEL "D" - BID ALTERNATE #05
90 MIL EPDM FULLY ADHERED
25' GYPSUM COVER BOARD
2.0" & 3.0" POLYISOCYANURATE INSULATION 2 LAYERS (MIN R-25 VALUE)
SELF-ADHERED VAPOR BARRIER
EXISTING METAL DECK



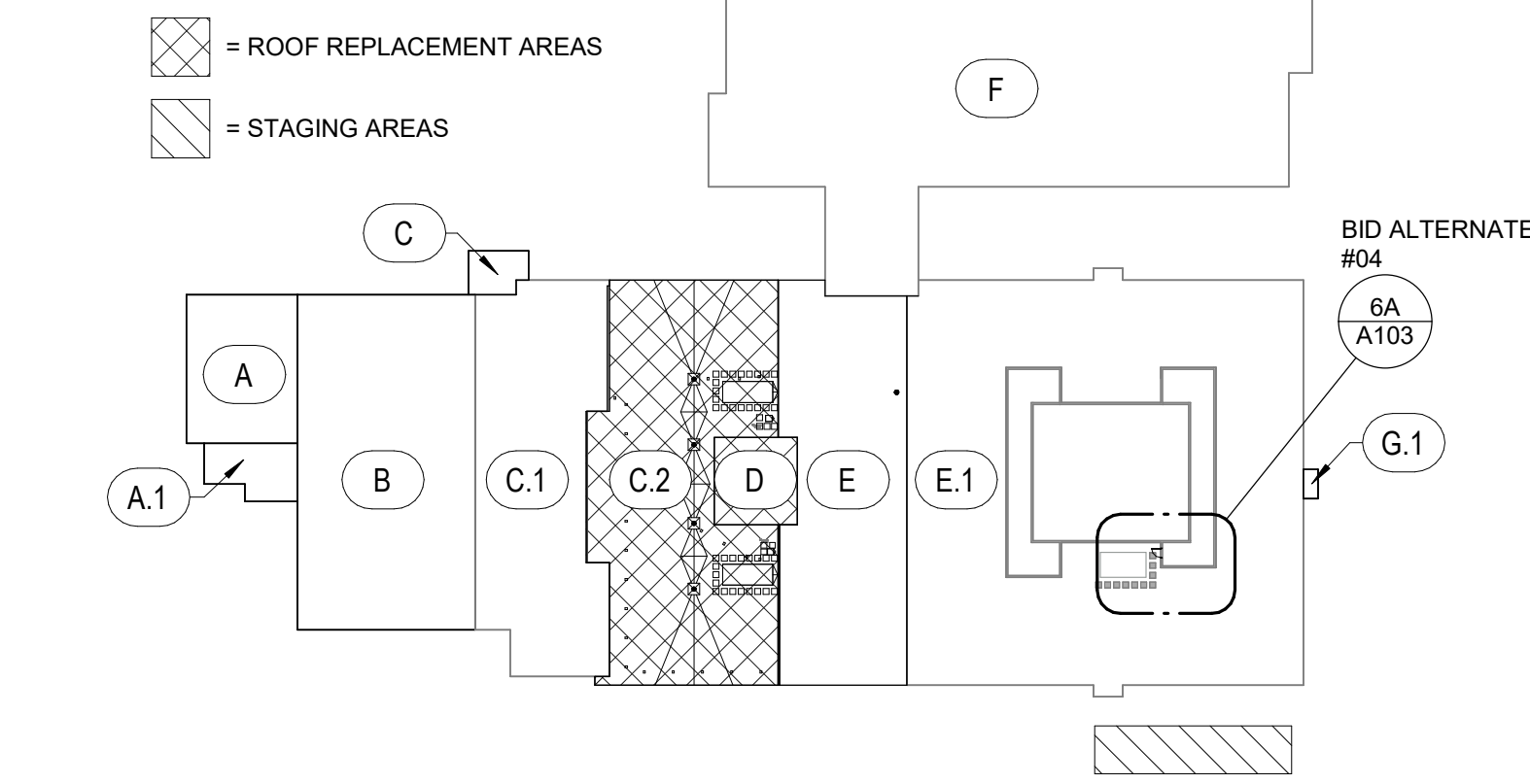
4A EXISTING CONDITIONS FOR REFERENCE - BID ALTERNATE #04 (NEW DOOR)
1 1/2" = 1'-0" 0' 1'



6A PARTIAL MEZZANINE FLOOR - BID ALTERNATE #04 (NEW DOOR)
1 1/4" = 1'-0" 0' 1'



6C ROOF AREA C.2 & D
1/8" = 1'-0" 0' 12'

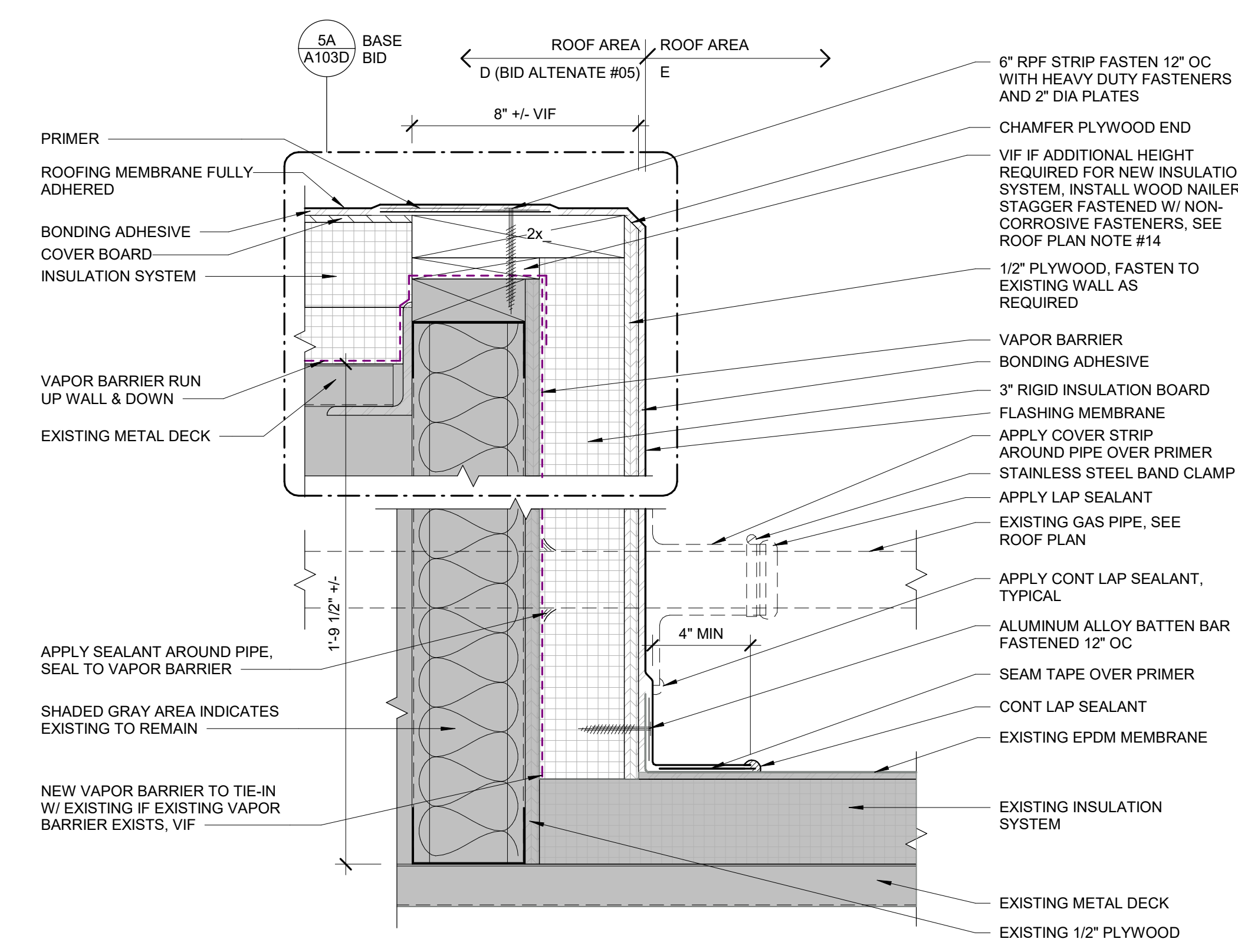


6E FOUR MILE ELEMENTARY ROOF KEY PLAN
1/8" = 1'-0" 0' 9'

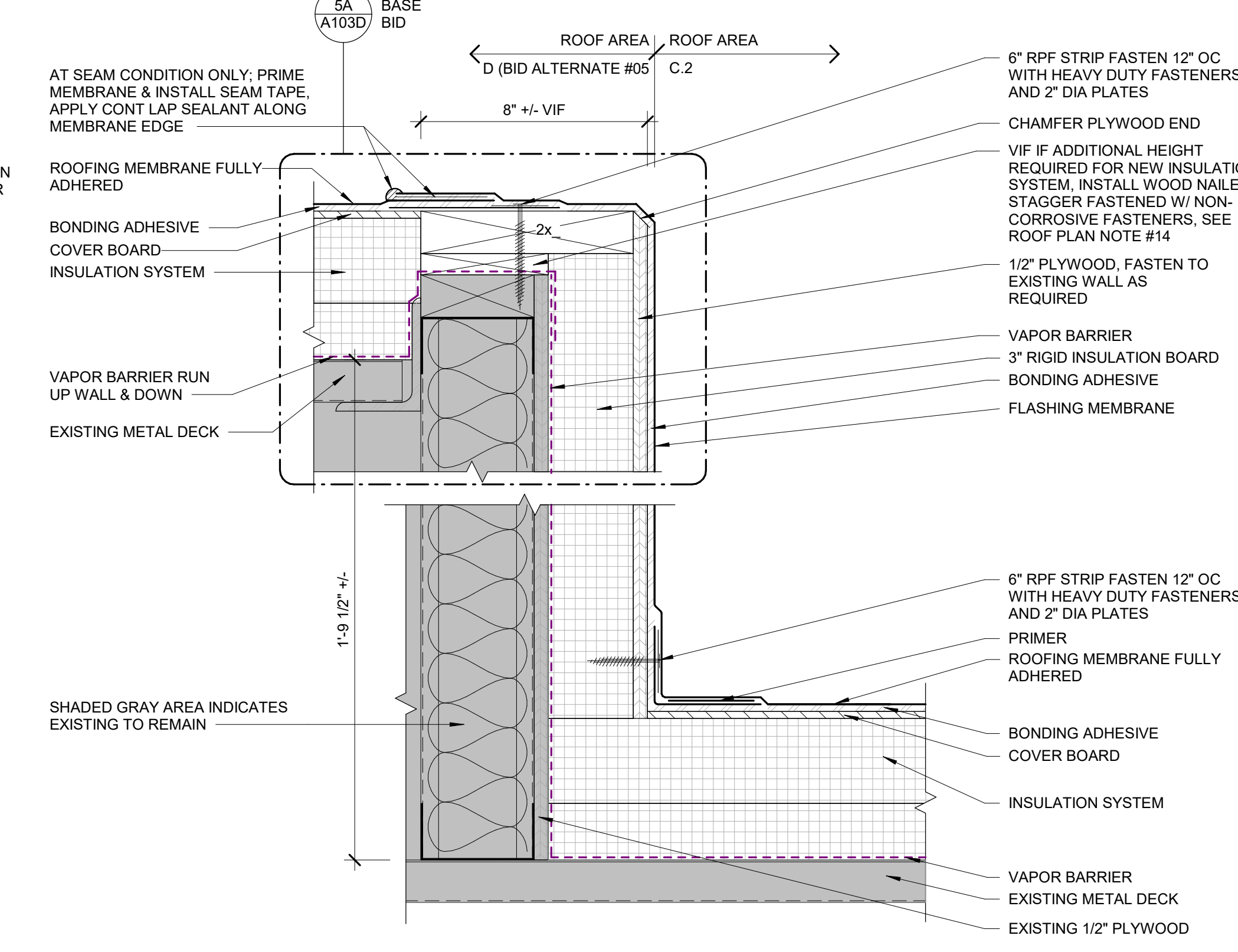
SEPCSD - 2025 ROOF REPLACEMENTS

ROOF PLAN & BID ALTERNATE WORK - FOUR MILE ELEMENTARY SCHOOL

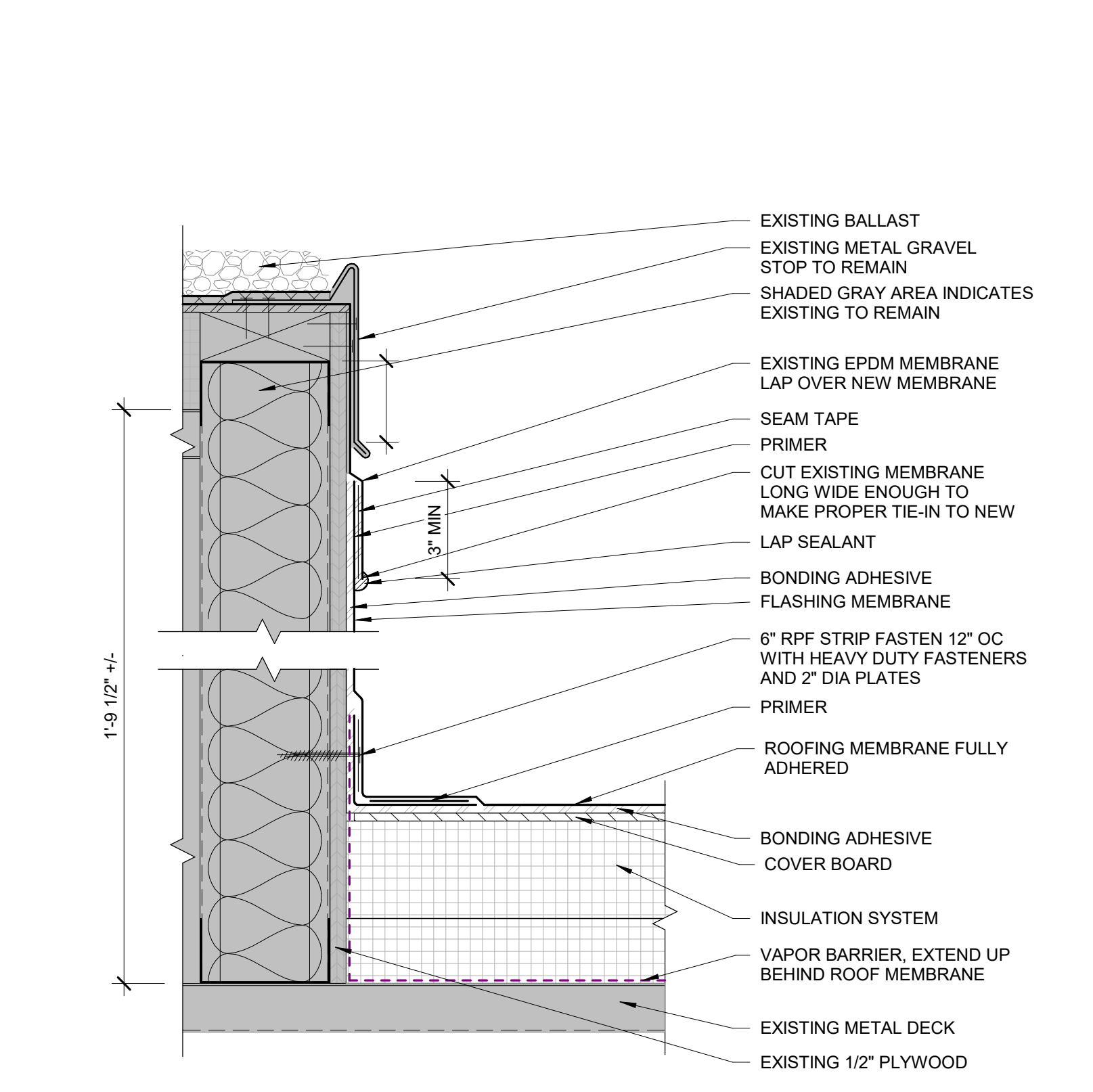
DRAWN BY	EP
APPROVED BY	SKS, MK
ISSUED FOR	CONSTRUCTION DOCUMENTS
ISSUE DATE	12/09/2024
PROJECT NUMBER	2240017800
FIELD BOOK	



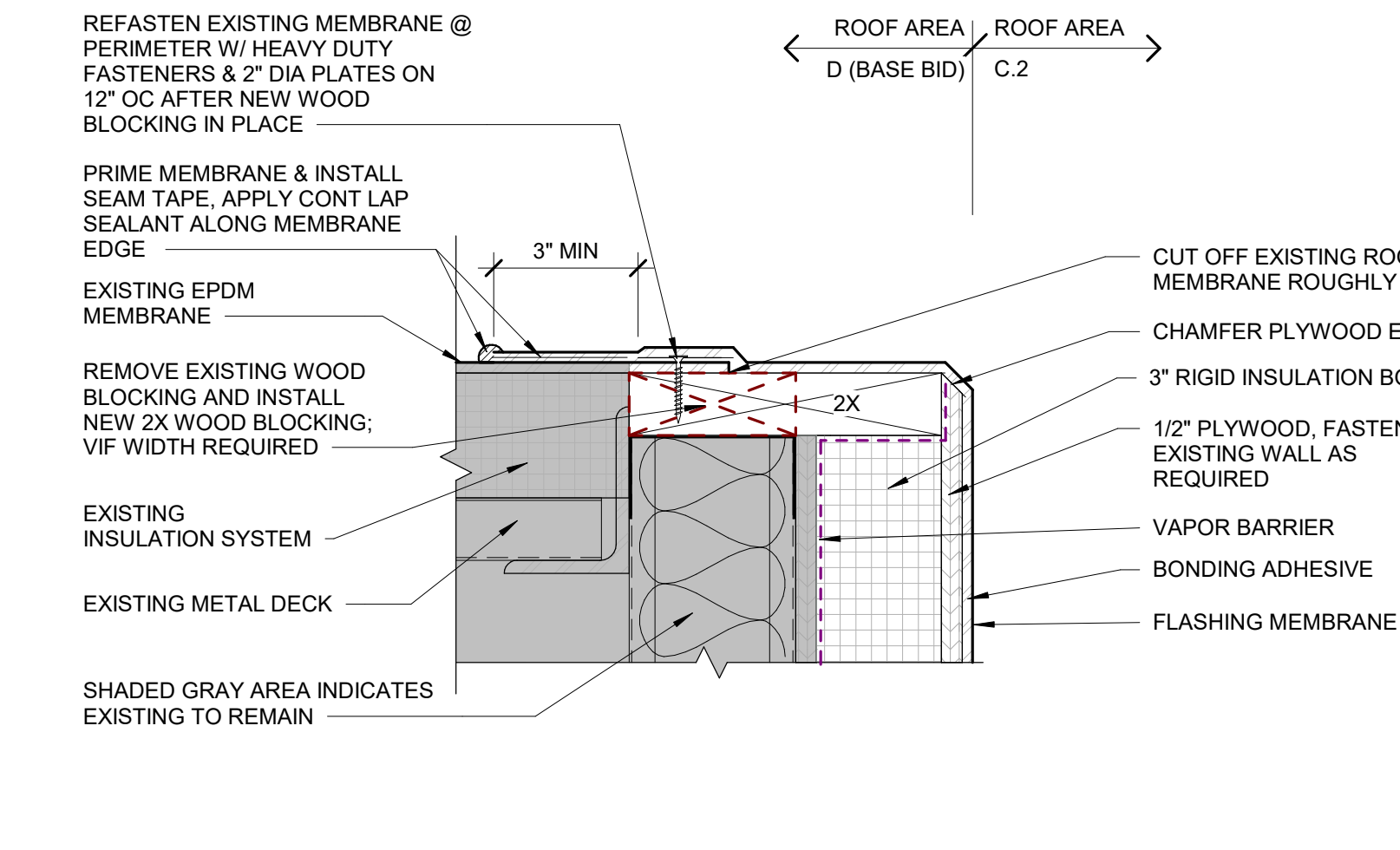
3B ROOFING STEP - EXISTING TIE-IN
3" = 1'-0" 0" 6"



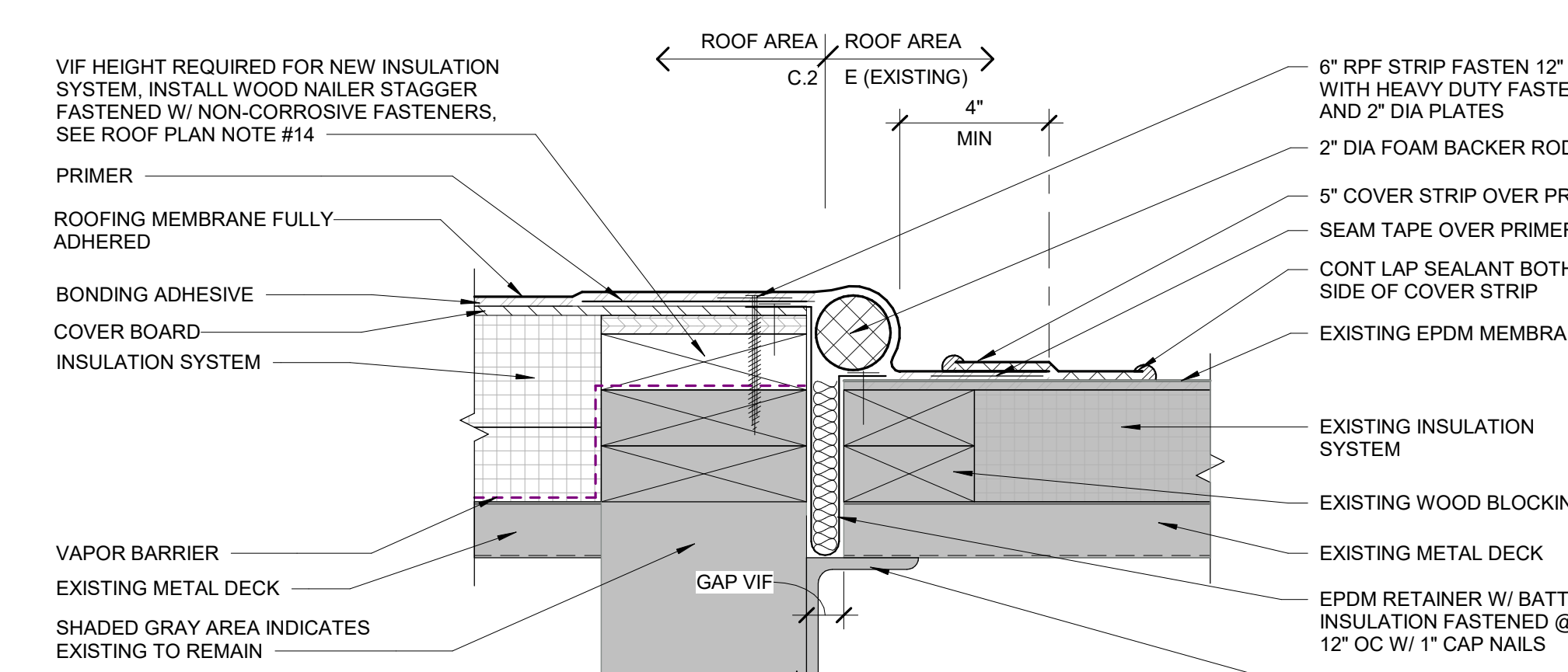
3D ROOFING STEP W/ SEAM CONDITION
3" = 1'-0" 0" 6"



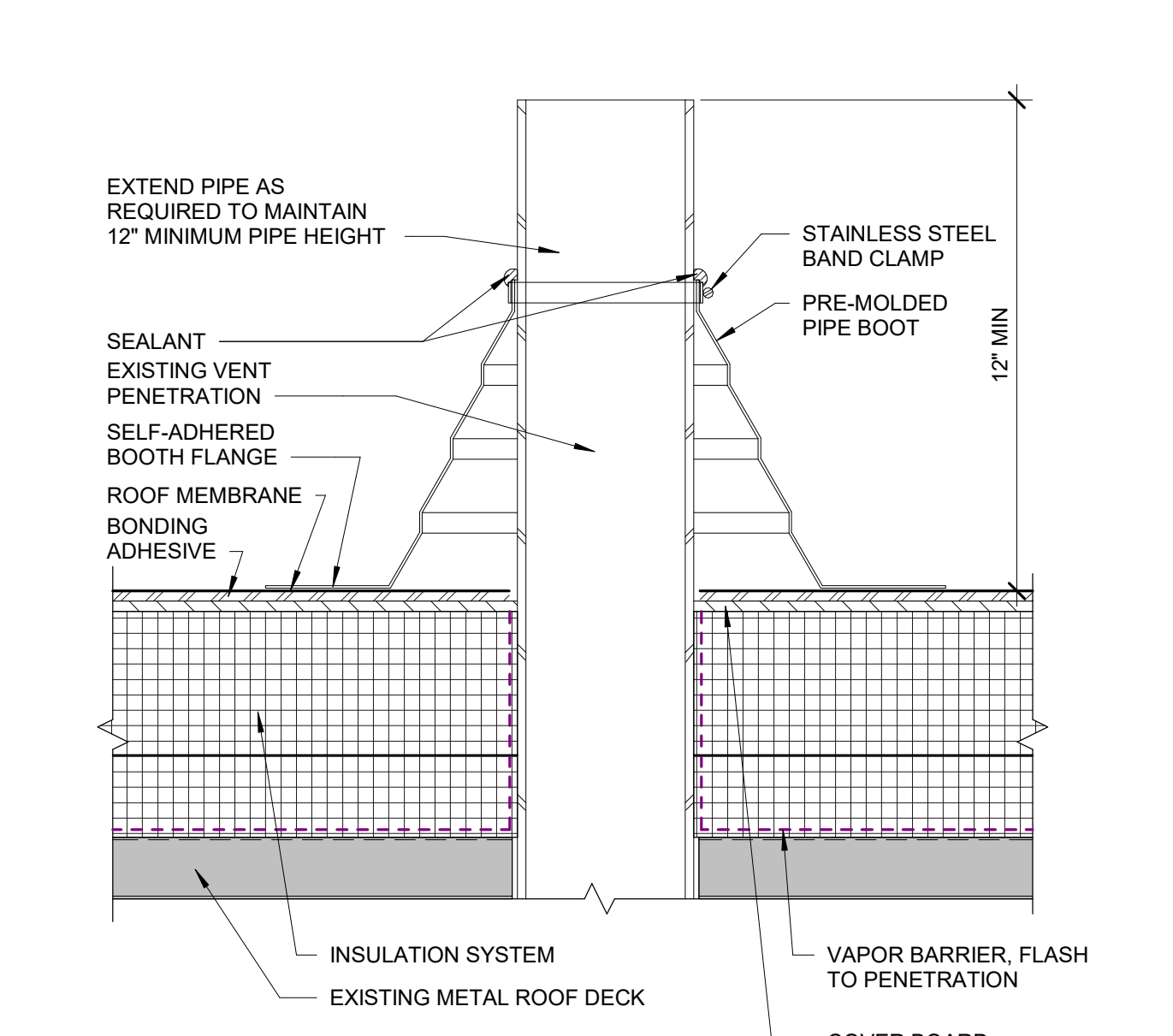
3C ROOFING TIE-IN TO EXISTING WALL
3" = 1'-0" 0" 6"



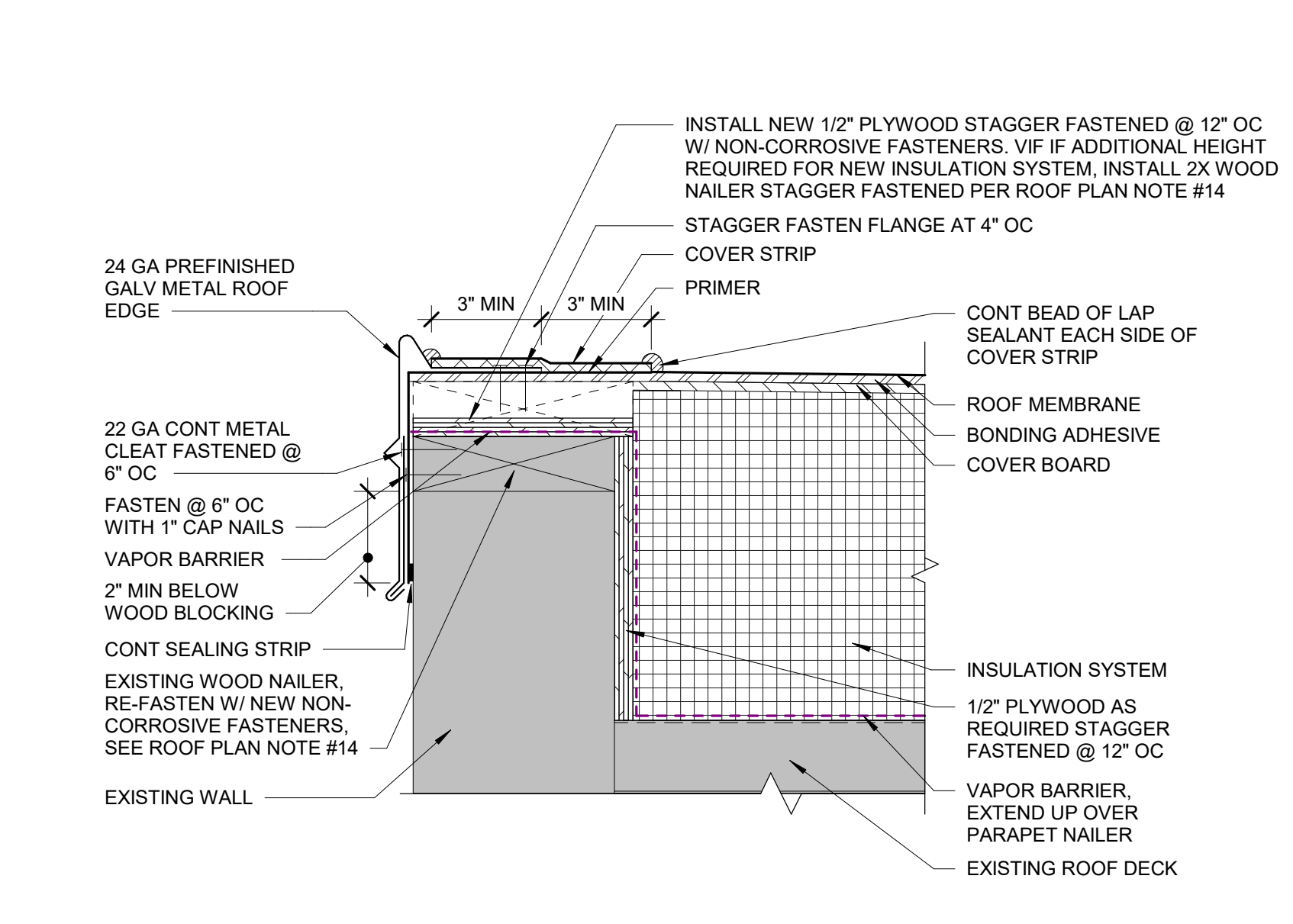
5A ROOFING TIE-IN @ ROOF LEVEL D - BASE BID
3" = 1'-0" 0" 6"



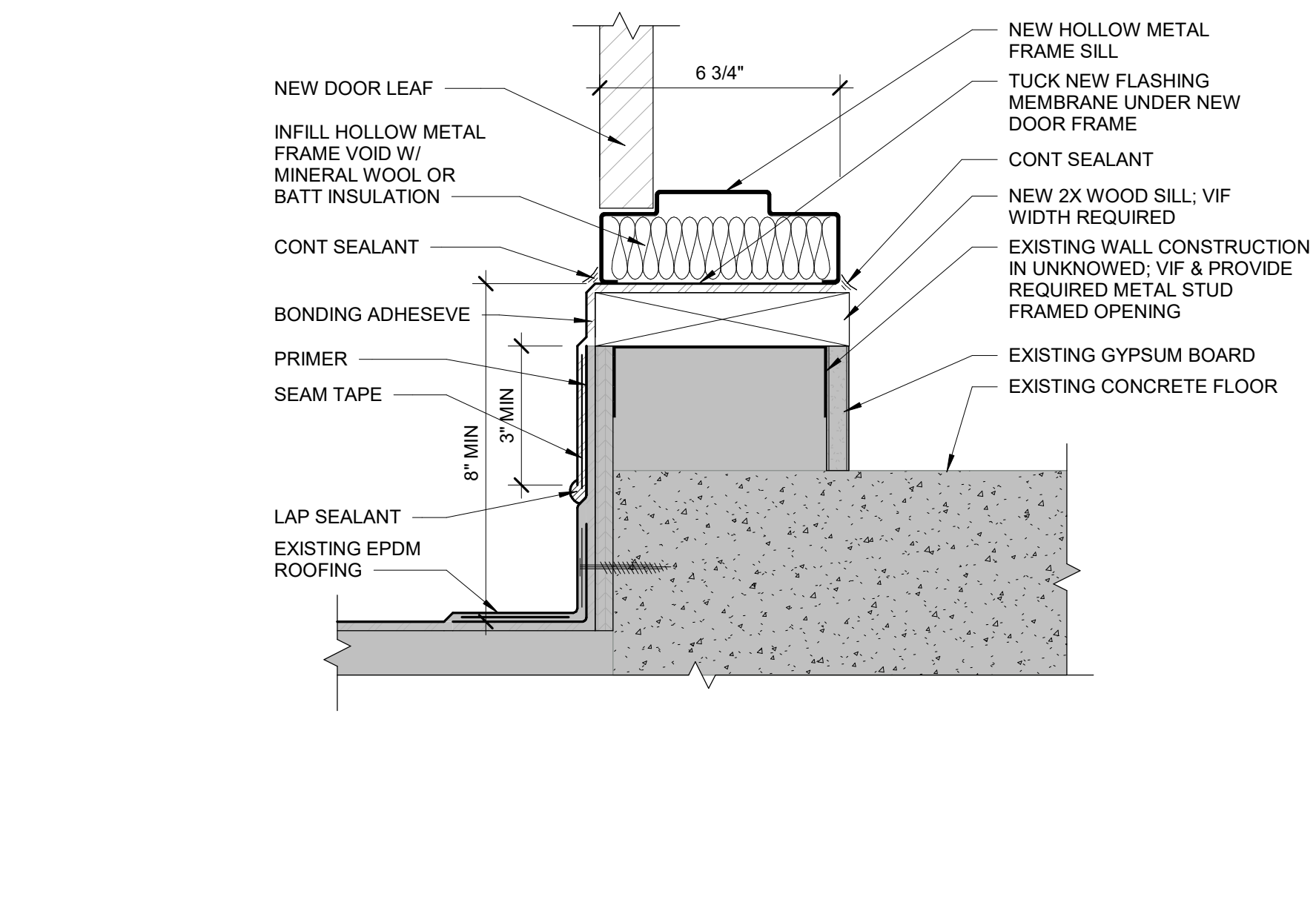
5C NEW ROOFING TO EXISTIN TIE-IN
3" = 1'-0" 0" 6"



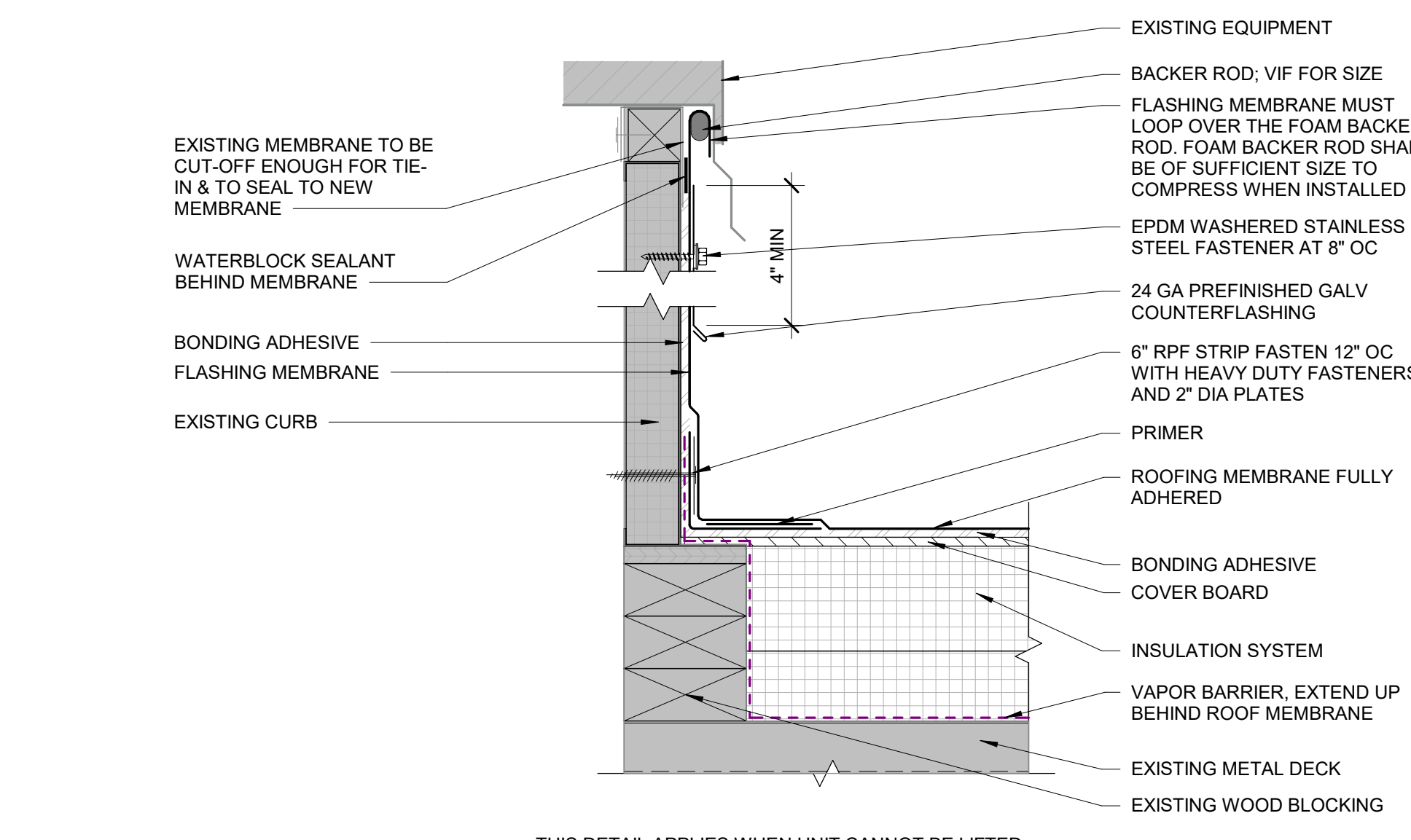
5E PIPE BOOT
3" = 1'-0" 0" 6"



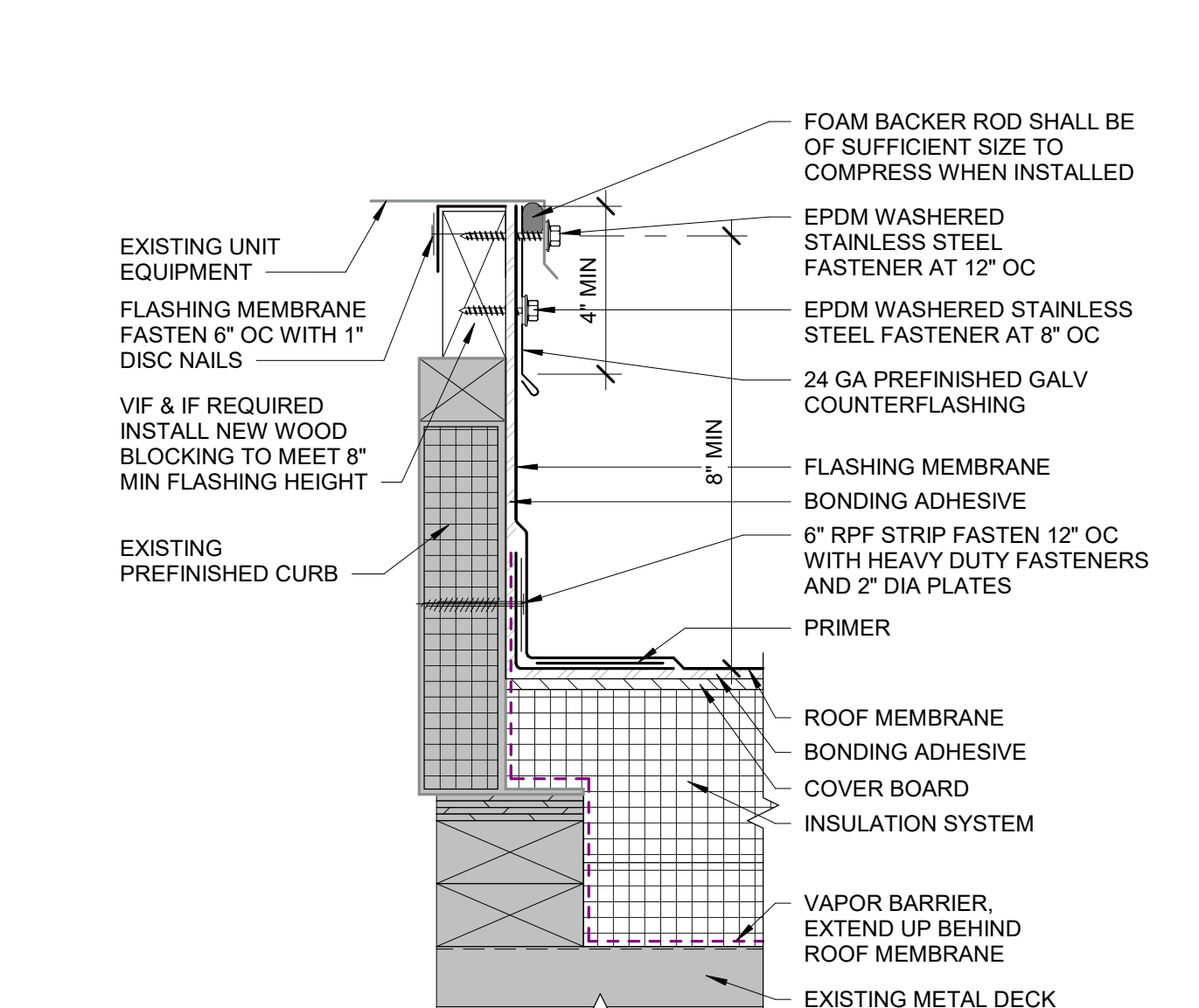
5G ROOF EDGE DETAIL - EPDM
3" = 1'-0" 0" 6"



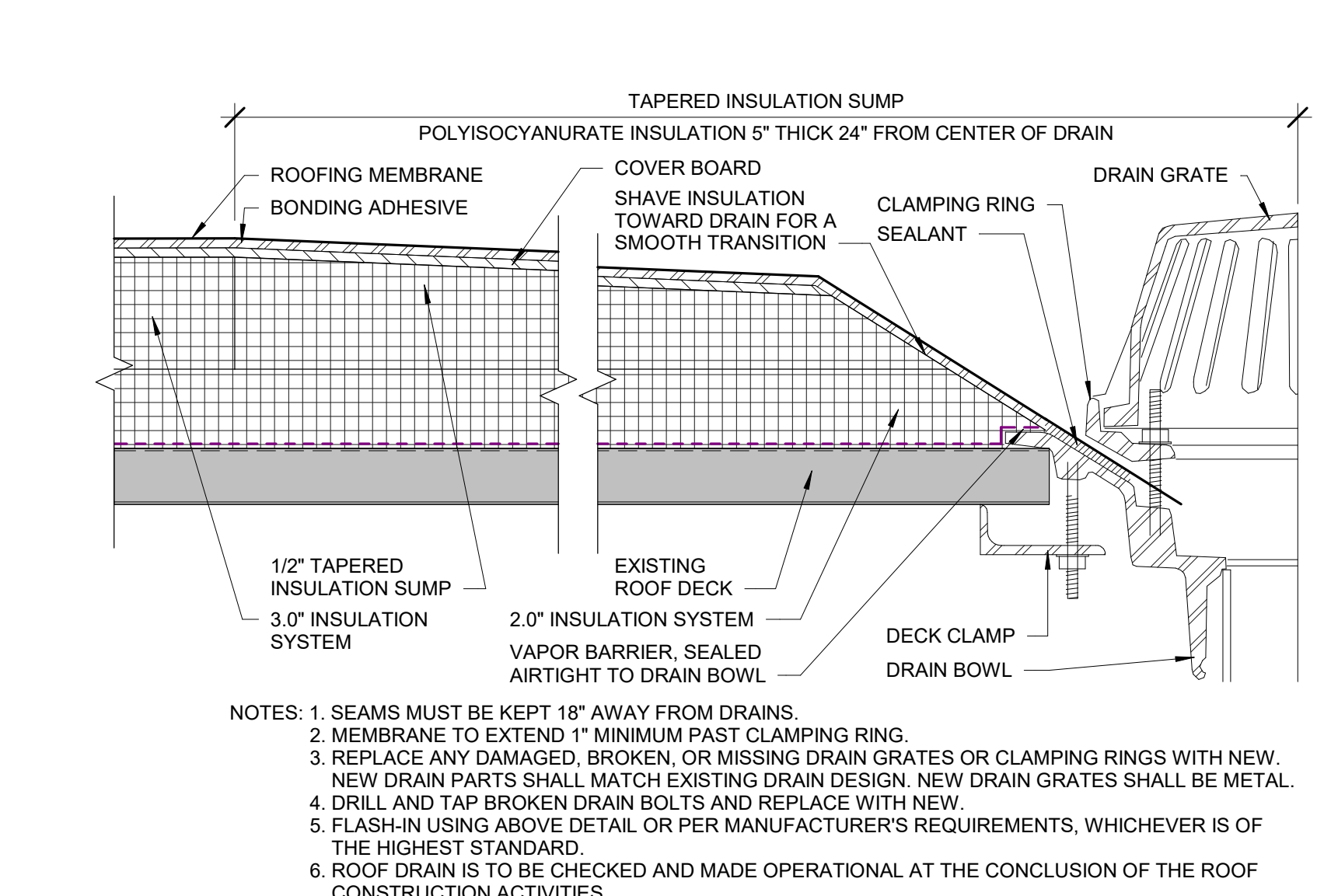
6A DOOR SILL FLASHING - EXISTING TIE-IN
3" = 1'-0" 0" 6"



6C ROOF CURB DETAIL
3" = 1'-0" 0" 6"



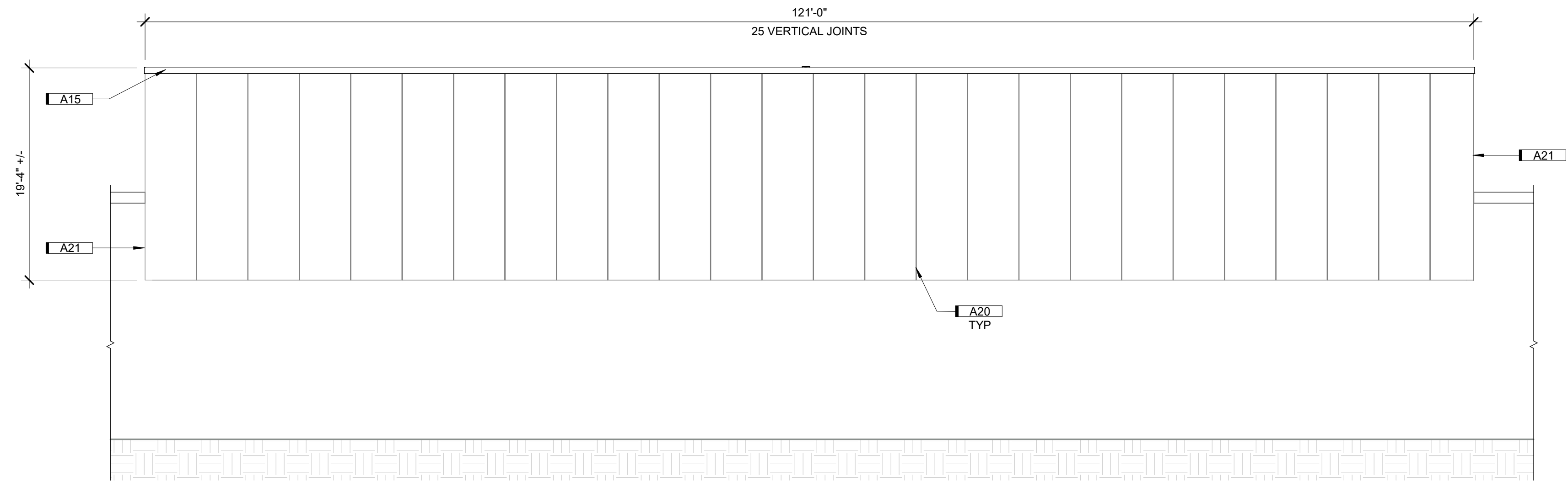
6E ROOF CURB DETAIL - EPDM
3" = 1'-0" 0" 6"



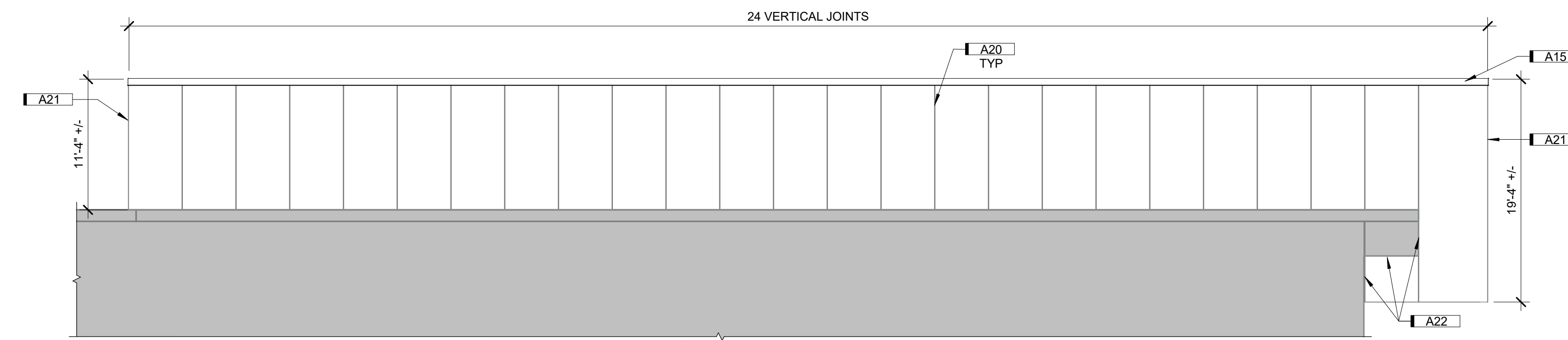
6G ROOF DRAIN DETAIL
3" = 1'-0" 0" 6"

DRAWN BY	EP
APPROVED BY	SOS
ISSUED FOR	CONSTRUCTION DOCUMENTS
ISSUE DATE	12/02/2024
PROJECT NUMBER	2240017800
FIELD BOOK	

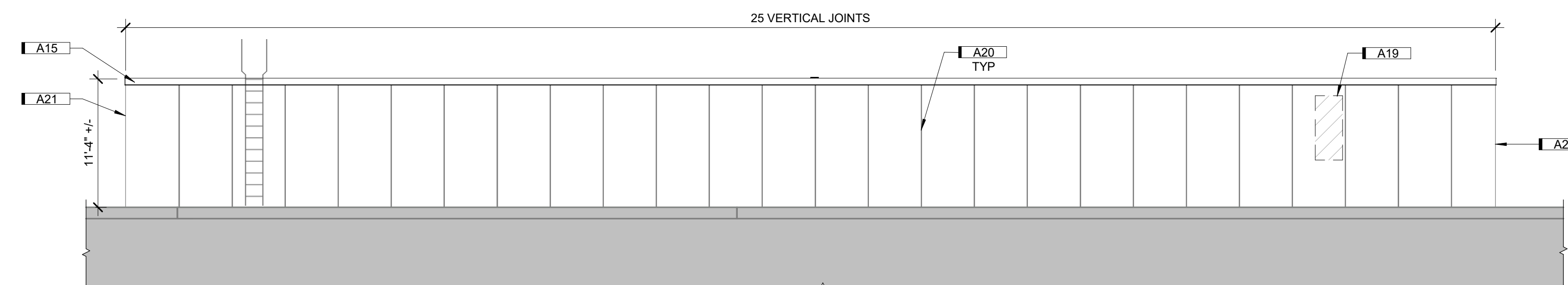
KEYNOTE LEGEND	
Key Value	Keynote Text
A15	PARAPET EDGE (BASE BID)
A19	EXISTING DUCT PENETRATIONS, FOR REFERENCE.
A20	ALTERNATE BID #01: IN PRECAST CONCRETE PANEL, REMOVE EXISTING SEALANT, INSTALL NEW BACKER ROD & SEALANT, COLOR TO MATCH EXISTING. EXISTING JOINT IS APPROX 3/4" WIDE
A21	ALTERNATE BID #01: RESEAL OUTSIDE CORNER JOINT, SEE KEYNOTE A20
A22	ALTERNATE BID #01: RESEAL INSIDE CORNER JOINT, SEE KEYNOTE A20



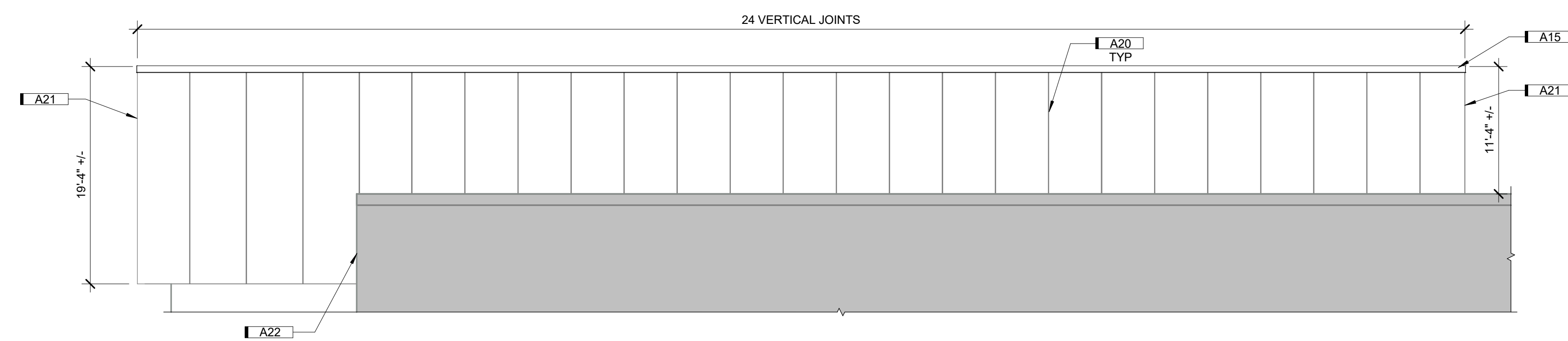
3D EXTERIOR NORTH ELEVATION - BID ALTERNATE #01
1/8" = 1'-0" 0 12'



4D EXTERIOR EAST ELEVATION - BID ALTERNATE #01
1/8" = 1'-0" 0 12'



5D EXTERIOR SOUTH ELEVATION - BID ALTERNATE #01
1/8" = 1'-0" 0 12'



6D EXTERIOR WEST ELEVATION - BID ALTERNATE #01
1/8" = 1'-0" 0 12'

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PRECAST WALL JOINTS - BID ALTERNATE - JR. HIGH SCHOOL

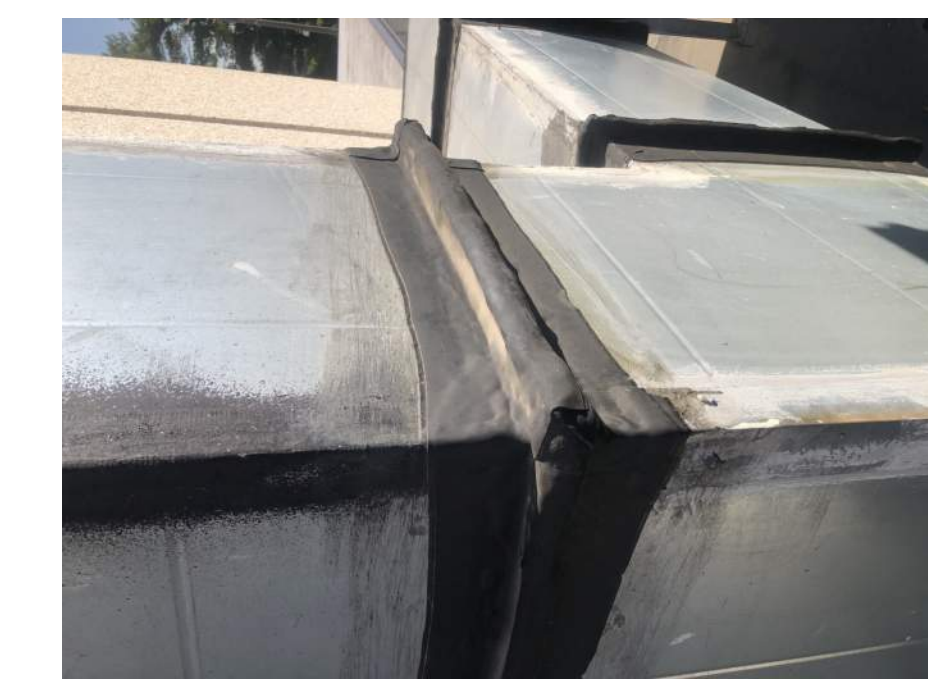
Key Value	Keynote Text
A16	ALTERNATE BID #03, INSTALL EPDM COVER STRIP @ DUCT JOINTS, SEE TYPICAL DETAIL 2E & 2G/A201 FOR TYPICAL EXISTING INSTALLATION FOR REFERENCE. CLEAN, PREP & PRIME SURFACE PRIOR TO INSTALLING COVER STRIP
A17	ALTERNATE BID #03, INSTALL EPDM COVER STRIP @ DUCT TIE-IN TO UNIT, SEE TYPICAL DETAIL 2D/A201 FOR TYPICAL EXISTING INSTALLATION FOR REFERENCE. CLEAN, PREP & PRIME SURFACE PRIOR TO INSTALLING COVER STRIP
A18	ALTERNATE BID #03, INSTALL EPDM COVER STRIP @ DUCT TIE-IN TO BLDG, SEE TYPICAL DETAIL 2C/A201 FOR TYPICAL EXISTING INSTALLATION FOR REFERENCE. CLEAN, PREP & PRIME SURFACE PRIOR TO INSTALLING COVER STRIP. INSTALL ALUMINUM TERMINATION BAR OR BATTEN STRIP & FASTEN @ 12" OC MAX. APPLY TOOLED SEALANT BETWEEN BLDG & TERM BAR
A23	CLEAN GRAFFITI (BASE BID)
A24	ALTERNATE BID #03, PROVIDE NEW COMPOSITE BLOCKING & REATTACH TO DUCT SUPPORT W/ GALV SCREWS. FIELD VERIFY BLOCKING SIZE. IF BLOCKING SITS ON ROOF SYSTEM, INSTALL SACRIFICE MEMBRANE TO PROTECT ROOFING MEMBRANE
A25	ALTERNATE BID #03, REPLACE FAILED CANVAS CONNECTOR DUCT FITTING PRIOR TO INSTALLING EPDM COVER STRIP PER KEYNOTE A17. FIELD VERIFY CONNECTOR SIZE



2C TYPICAL DUCT TIE-IN TO BLDG FOR REFERENCE
NOT TO SCALE



2D TYPICAL DUCT TIE-IN TO UNIT FOR REFERENCE
NOT TO SCALE



2E TYPICAL HORIZ DUCT JOINT FOR REFERENCE
NOT TO SCALE



2G TYPICAL VERTICAL DUCT JOINT FOR REFERENCE
NOT TO SCALE



3A AIR HANDLER UNIT 3 (AHU3) - EXISTING PHOTOS
NOT TO SCALE



5A AIR HANDLER UNIT 2 (AHU2) - EXISTING PHOTOS
NOT TO SCALE



6G SE POLK JR. HIGH KEY PLAN
NOT TO SCALE

SEPCSD - 2025 ROOF IMPROVEMENTS

SOUTHEAST POLK COMMUNITY SCHOOL DISTRICT
6225 NE UNIVERSITY AVE, PLEASANT HILL, IA 50327

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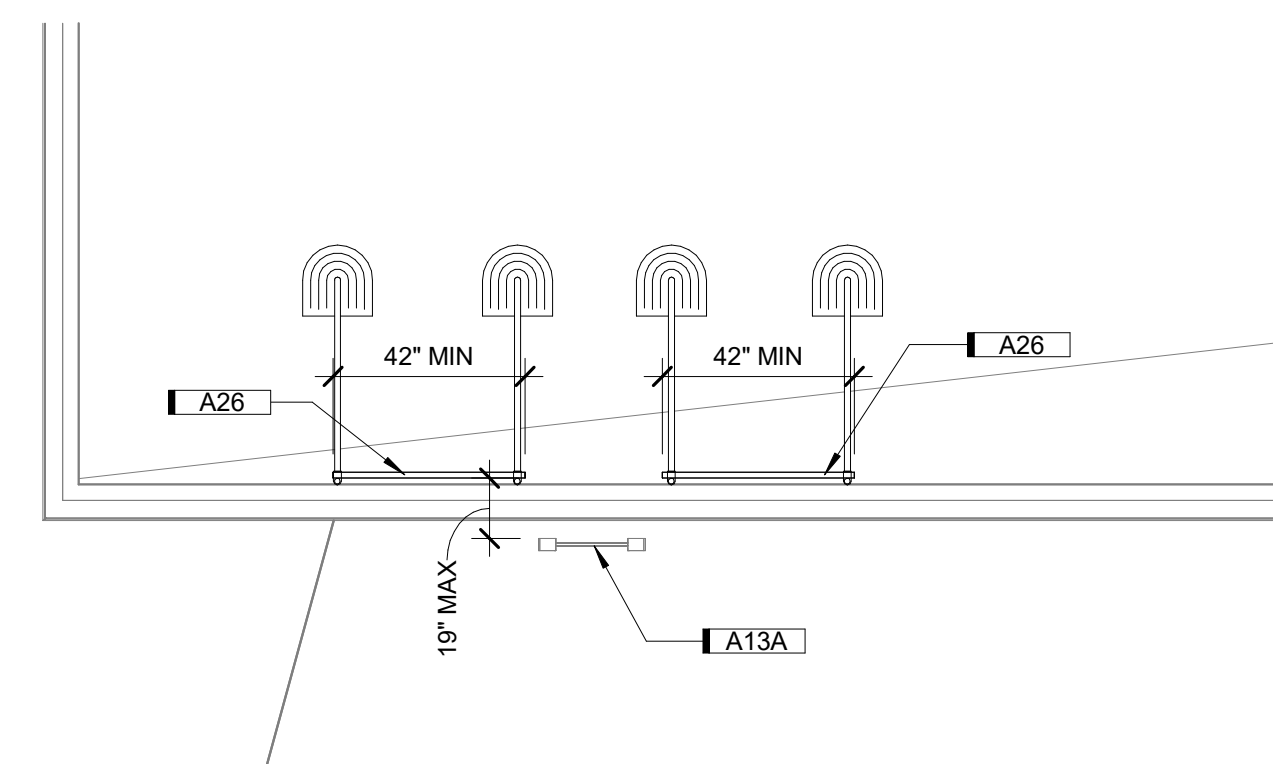
DUCT JOINTS - BID ALTERNATE - JR. HIGH SCHOOL

A201

Key Value	Keynote Text
A13A	EXISTING LADDER
A16	ALTERNATE BID #03: INSTALL EPDM COVER STRIP @ DUCT JOINTS, SEE TYPICAL DETAIL 2E & 2G/A201 FOR TYPICAL EXISTING INSTALLATION FOR REFERENCE. CLEAN, PREP & PRIME SURFACE PRIOR TO INSTALLING COVER STRIP.
A18	ALTERNATE BID #03: INSTALL EPDM COVER STRIP @ DUCT TIE-IN TO BLDG, SEE TYPICAL DETAIL 2C/A201 FOR TYPICAL EXISTING INSTALLATION FOR REFERENCE. CLEAN, PREP & PRIME SURFACE PRIOR TO INSTALLING COVER STRIP. INSTALL ALUMINUM TERMINATION BAR OR BATTEN STRIP & FASTEN @ 12" OC MAX. APPLY TOOLED SEALANT BETWEEN BLDG & TERM BAR.
A24	ALTERNATE BID #03: PROVIDE NEW COMPOSITE BLOCKING & REATTACH TO DUCT SUPPORT W/ GALV SCREWS. FIELD VERIFY BLOCKING SIZE. IF BLOCKING SITS ON ROOF SYSTEM, INSTALL SACRIFICE MEMBRANE TO PROTECT ROOFING MEMBRANE.
A25	ALTERNATE BID #03: REPLACE FAILED CANVAS CONNECTOR DUCT FITTING PRIOR TO INSTALLING EPDM COVER STRIP PER KEYNOTE A17. FIELD VERIFY CONNECTOR SIZE.
A26	ALTERNATE BID #02: INSTALL GALV OSHA COMPLIANT PARAPET GUARDRAIL, KEEPGUARD SAFETY RAILING SYSTEM GUARDRAIL OR EQUIVALENT. PROVIDE INSTALLATION OF ROOF SAFETY RAIL SYSTEM ACCORDING TO MANUFACTURER. INSTALL EPDM MEMBRANE SLIP SHEET UNDER RAIL WEIGHTS. PER OSHA 1910.23(D)(4) EXTEND SIDE RAILS 42" MIN BOTH SIDES OF LADDER.



5A AIR HANDLER UNIT 4 (AHU4) - EXISTING PHOTOS
NOT TO SCALE



6D PARTIAL ROOF AREA "X" - BID ALTERNATE #02 - SAFETY RAILS
1/4" = 1'-0" 0' 6"



6G SE POLK JR. HIGH KEY PLAN
1/2" = 1'-0" 0' 1.5"

ISEPCSD - 2025 ROOF IMPROVEMENTS

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A202