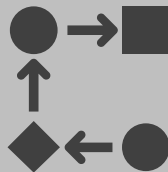


SOUTHEAST POLK COMMUNITY SCHOOL DISTRICT

ADMINISTRATION BUILDING IMPROVEMENTS

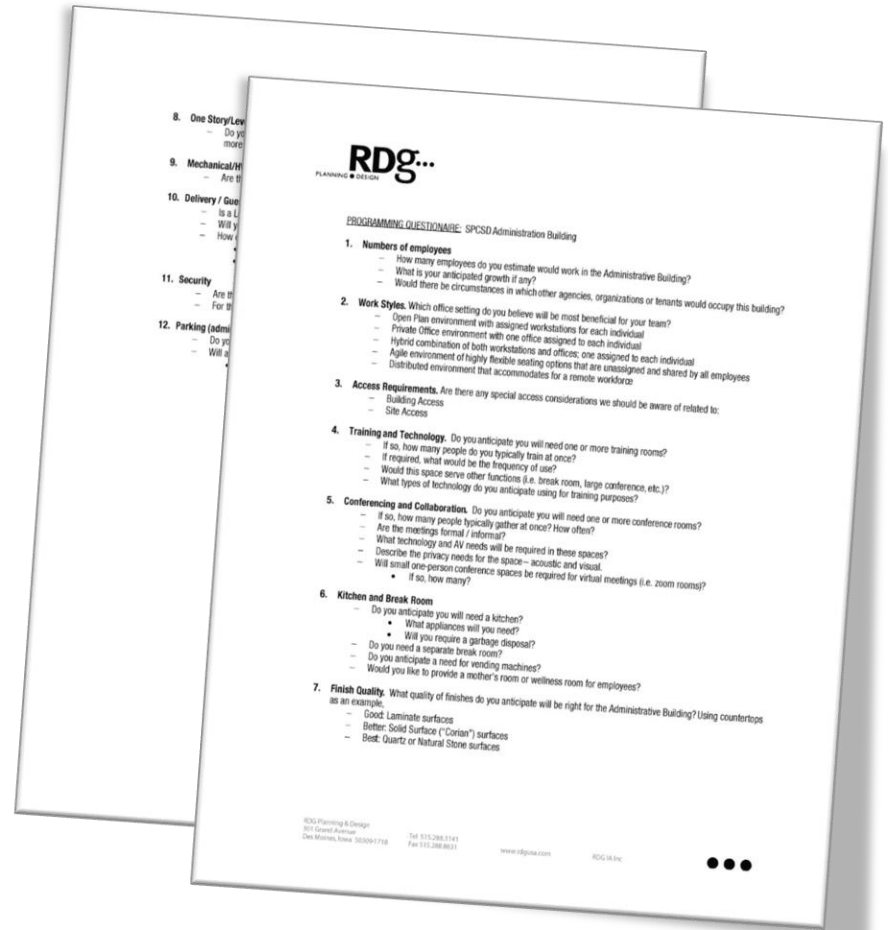
05.18.2023

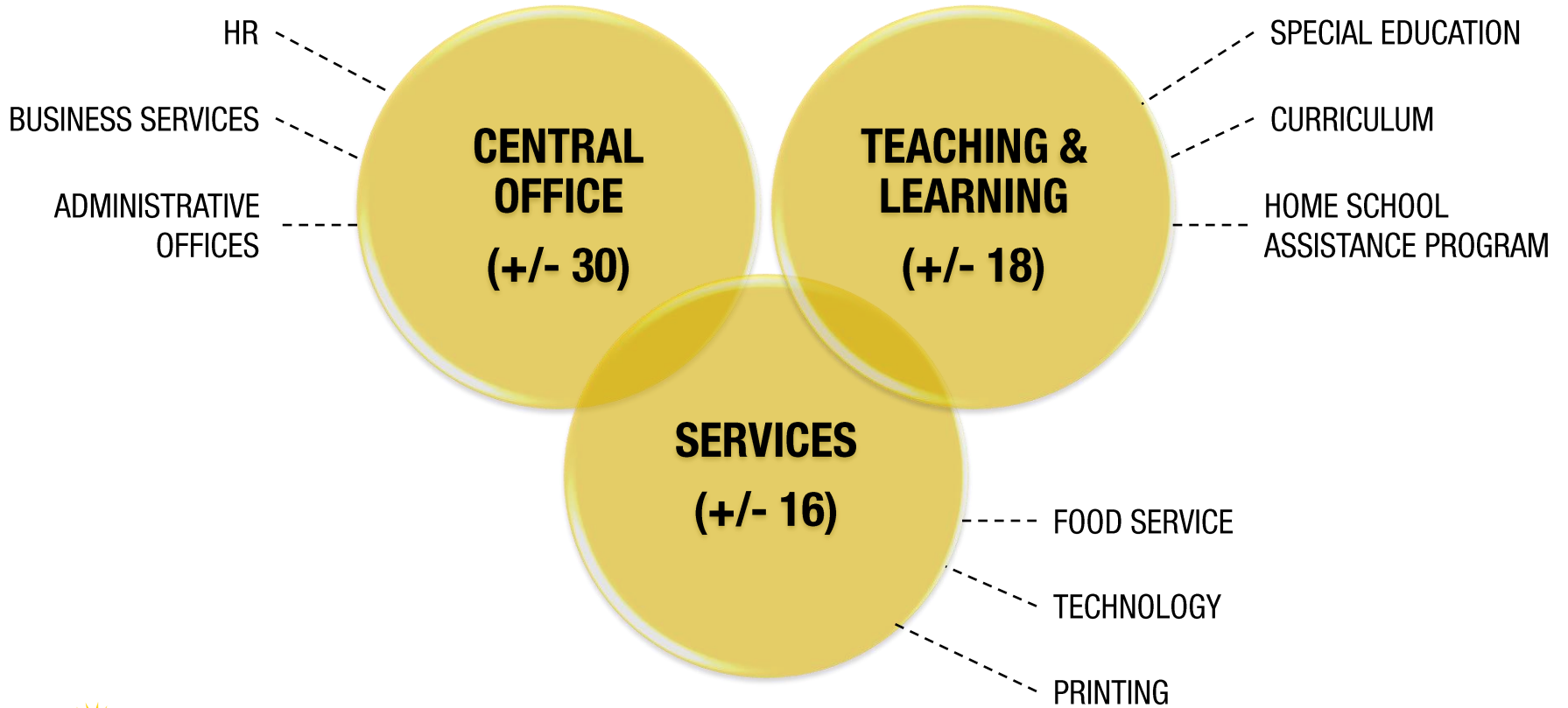




PLANNING PROCESS

- Information Gathering
- Programming – Quantitative Data
- Adjacency Study
- Blocking & Stacking Diagrams
- Feasibility study of existing Spring Creek Building
 - Fit Study
 - Existing Conditions Survey
 - Code Review





SPACE NEEDS FOR PROPOSED SE POLK ADMINISTRATION BUILDING				Ancillary Qty.	Office Qty.	Occ	Occ Factor	SF-EA	NET SF <i>[70% Net-to-Gross Ratio]</i>	GROSS SF	COMMENTS	
DEPARTMENT	ROLE / POSITION	SETTING TYPE	SIZE									
TEACHING & LEARNING	Exec. Director	Director Office	14 x 16	-	1			224	224	320		
	Executive Admin. Assistant	Workstation	8 x 8	-	2			64	128	183	Acoustic privacy for phone calls; adjacent to materials; one part-time position shared with Food Service dept.	
	Special Education	Medicaid Billing Clerk	Workstation	8 x 8	-	1		64	64	91		
		Growth	Workstation	8 x 8	-	1		64	64	91		
		Storage			1	-		400	400	571	Mats, pads, storage of unused equipment	
		DEPARTMENT TOTAL			1	5			880	1,257		
		Exec. Director	Director Office	14 x 16	-	1			224	224	320	
		Exec. Admin. Assistant	Workstation	8 x 8	-	1			64	64	91	
		PK-12 At-Risk Coordinator	Workstation	8 x 8	-	1			64	64	91	Flexible work environment; divided into teams; acoustic privacy for phone calls; adjacent to materials
		Curriculum	PK-12 Math Coordinator	Workstation	8 x 8	-	1		64	64	91	
			Elementary Literacy Coordinator	Workstation	8 x 8	-	1		64	64	91	collaborative workstation with Secondary Literacy Coordinator
			PK-12 College & Career Coordinator	Workstation	8 x 8	-	1		64	64	91	
			PK-12 Instructional Technology Coordinator	Workstation	8 x 8	-	1		64	64	91	
			PK-12 Learning Supports Coordinator	Workstation	8 x 8	-	1		64	64	91	
			PK-12 Science Coordinator	Workstation	8 x 8	-	1		64	64	91	
			Secondary Literacy Coordinator	Workstation	8 x 8	-	1		64	64	91	collaborative workstation with Elementary Literacy Coordinator
			PK-12 Assessment Coordinator	Workstation	8 x 8	-	1		64	64	91	
			Early Childhood Coordinator	Workstation	8 x 8	-	1		64	64	91	
			Growth	Office	12 x 15	-	1		180	180	257	
		DEPARTMENT TOTAL			0	13			1,108	1,583		
		HSAP	HSAP Teacher	Workstation	8 x 8	-	3		64	192	274	Collaborative work area
			Collaboration Space			0	-		800	-	-	800 SF Curriculum library 25/30 kids meet monthly; plan for growth in enrichment; can be shared with Training Room (included below)
			Storage			1	-		800	800	1,143	Curriculum Library Storage
		DEPARTMENT TOTAL			1	3			992	1,417		
		Ancillary Space(s)	Storage		1	-			800	800	1,143	"Warehouse-like storage for STEM kits, early education materials, textbooks, special education equipment, and extra text books.
			Training Room		1	-		1,080	1,080	1,543	shared with HSAP Collab. Space; HSAP holds monthly training; requires tech & flexible furniture layout; seats up to 45	
			Production Lab		1	-		300	300	429	Zoom enabled for asynchronous learning; "Recording In-progress" alert; lighting / acoustic needs	
			Medium Conference Room		2	-		650	1,300	1,857	Seats 12-15; visual/acoustic privacy; tech connections; 2-4 person group settings	
			Coot Storage			-		300	-	-	TBD	
			Wellness / Family RR		1	-		120	120	171	To accommodate Mother's Room needs - sink, refrigerator, mirror, seating, lighting	
	DEPARTMENT TOTAL			6	0			3,600	5,143			
	SUBTOTAL - TEACHING & LEARNING				8	21			6,580	9,400		
	TOTAL W/ CIRCULATION (Load Factor of 15%)								7,567	10,810		

PLANNING PROCESS | Initial Cost Estimate (New Construction)

RDG # R3005.332.00

Area of Proposed New Building: 37,290 (assumes a match with area to be remodeled)
 Area of Proposed Unfinished Lower Level: 10,000 (assumes some growth and site modified building opportunity)
 47,290

Description	Units	Unit Cost	Quantity	Estimated Cost
New Construction				
New Building Core and Shell. Assume One Story Walk Out	SF	\$265	37,290	\$ 9,881,850
Partial Basement, Storage, light/unfinished	SF	\$175	10,000	\$ 1,750,000
Elevator (Passenger Style plus service)	2 stops			\$ 150,000
Interior Improvement Package (TI based)	SF	\$135	37,290	\$ 5,034,150
Communication (Telecom) Systems	SF	\$5.50	47,290	\$ 260,095
Safety and Security (Access and Control)	SF	\$5.00	47,290	\$ 236,450
Control Room Infrastructure				\$ 250,000
Working Display Wall	LF	\$300	400	\$ 120,000
Specialty AV (Board and Conference Rooms)				\$150,000
Building Construction Cost Sub Total				\$ 17,832,545
Site Improvements				
Parking and Drives	SF	\$5,400	100	\$ 540,000
Site Grading/Detention/Utilities	Lump Sum			\$ 350,000
Site Lighting				\$ 100,000
Site Amenities/Signage/Plantings	Lump Sum			\$ 125,000
New Enclosure for on-grade Chiller				\$ 50,000
Emergency Power Generator				\$ 400,000
Site Sub Total				\$ 1,115,000
Total Construction Allocation				\$ 18,947,545
Contingency Reserve (new equals less %) (Design/Bid/Construction)	10%			\$ 1,894,755
Total Construction + Contingency				\$ 20,842,300
AE/C/PM/IT Design Fees	9.50%			\$ 1,980,018
Other Owners Costs (prints/surveys/legal/ins)	3.00%			\$ 625,269
Kitchen or Specialty Equipment (Break and Board Room)				\$ 75,000
Land Purchase	NIC			\$ -
FFE (assumes partial re-use of extg.)	SF	\$27.00	37,290	\$ 1,006,830
Total Project Costs				\$ 24,529,417
				\$ 24,500,000



PLANNING PROCESS | Existing Conditions Survey



PLANNING PROCESS | Existing Furniture Inventory

- Board Room Furnishings
- Seating
- Files
- Workstations

The image displays a comprehensive furniture inventory spreadsheet for the Southeast Polk CSD Administration Building. The spreadsheet is organized into four main columns, each titled 'Existing Furniture Schedule'. Each column contains a grid of rows, where each row represents a specific furniture item. The columns are:

- Column 1:** Board Room Furnishings. Items include various wood-paneled benches and tables.
- Column 2:** Seating. Items include office chairs, ergonomic chairs, and various desk chairs.
- Column 3:** Files. Items include filing cabinets, storage units, and desks.
- Column 4:** Workstations. Items include computer monitors, keyboards, mice, and desk accessories.

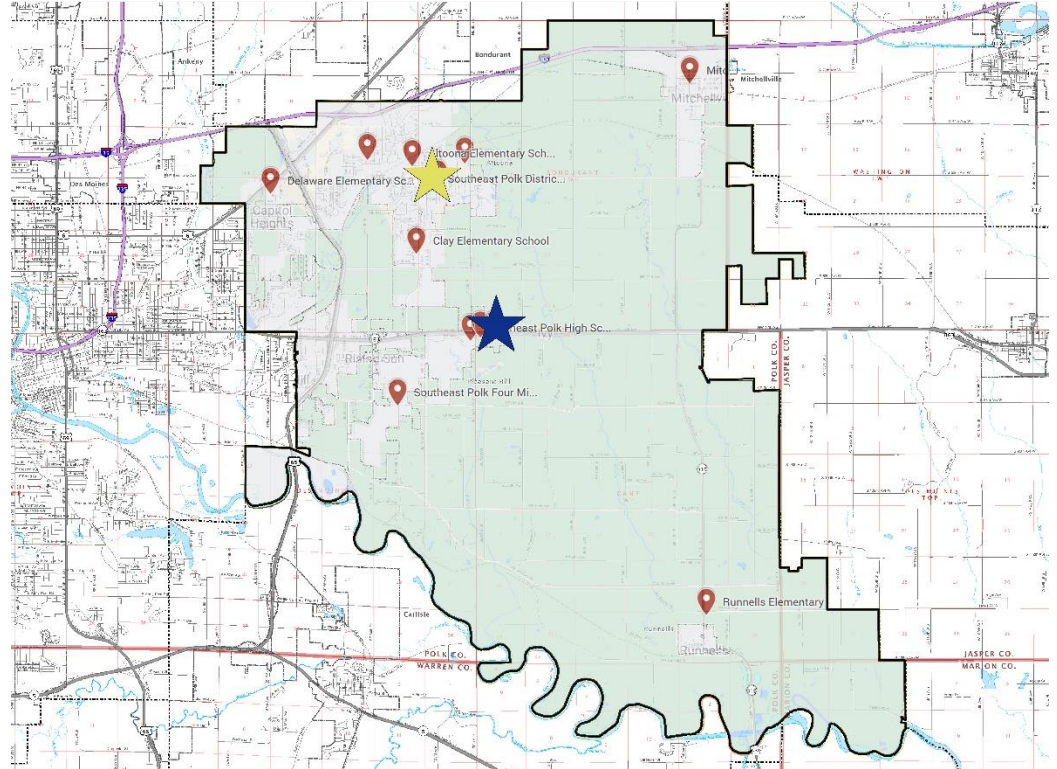
Each row in the grid typically includes a small photograph of the furniture item, a description of the item, and a quantity. At the bottom of the spreadsheet, the text 'SOUTHEAST POLK CSD - ADMINISTRATION BUILDING' is visible, followed by three red dots.



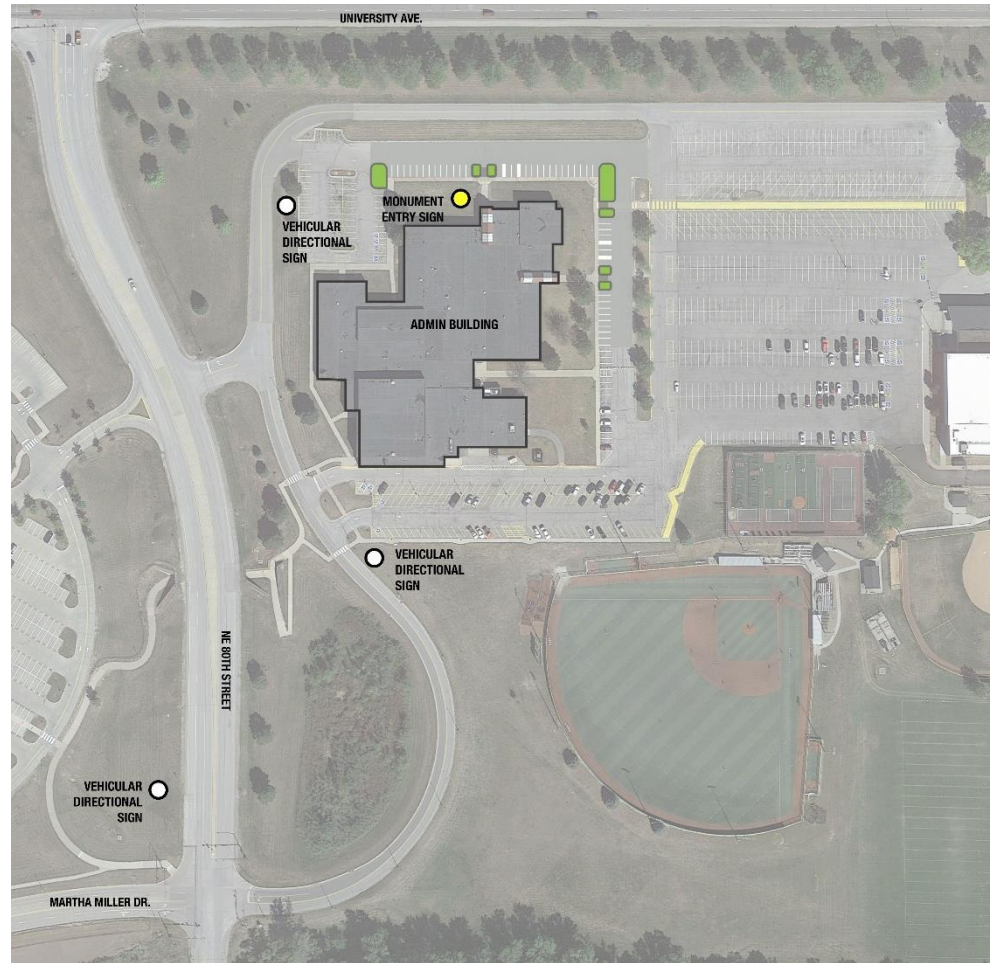
SITE ANALYSIS



- 8031 NE University Avenue,
Pleasant Hill, IA 50327
 - Reuse of the Spring Creek Elementary building
 - Approximately 4.5 miles south of the current location .
(Shown below with blue star)
 - Site offers close proximity to existing Junior High, High School, Athletic Complexes, and other support service buildings.

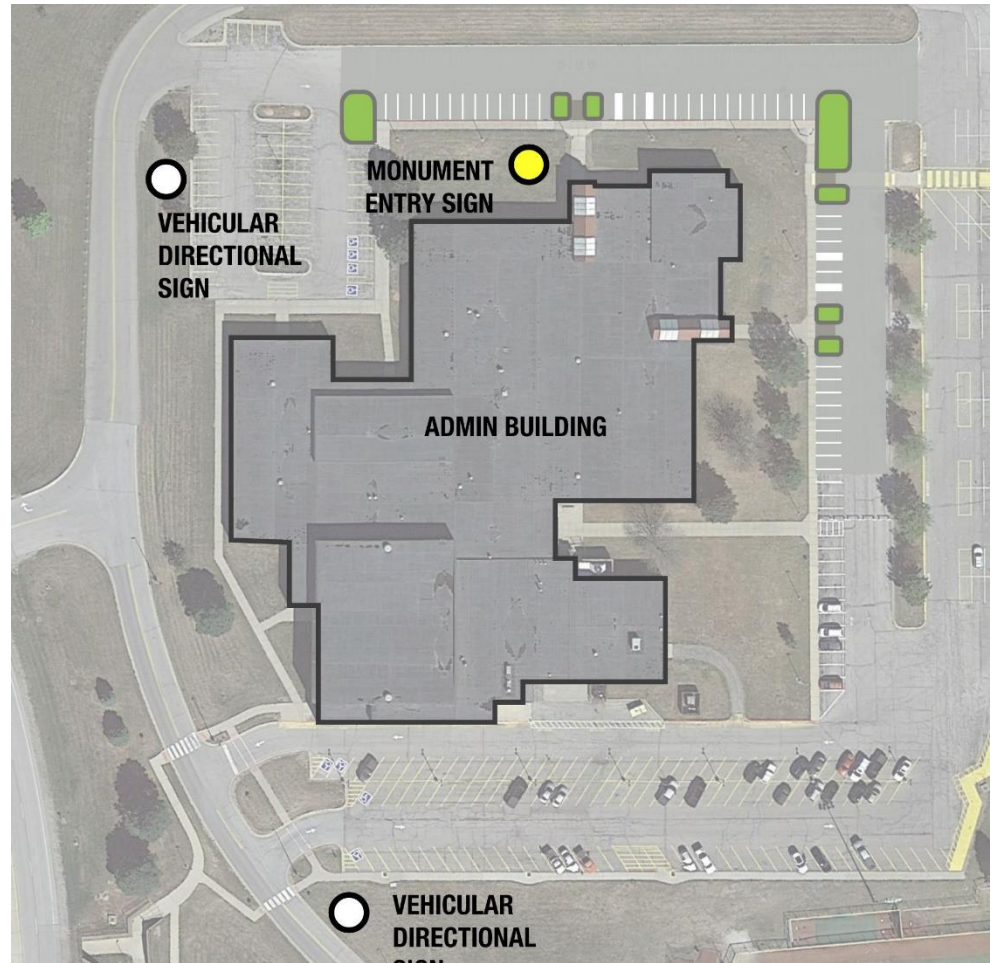


- Spring Creek Location
 - Vehicular Access
 - Directional Signage



- Spring Creek Location

- Hierarchy of Entry
- Parking Opportunities
- Monument Signage
- Lighting
- Greenspace





FLOOR PLAN REVIEW

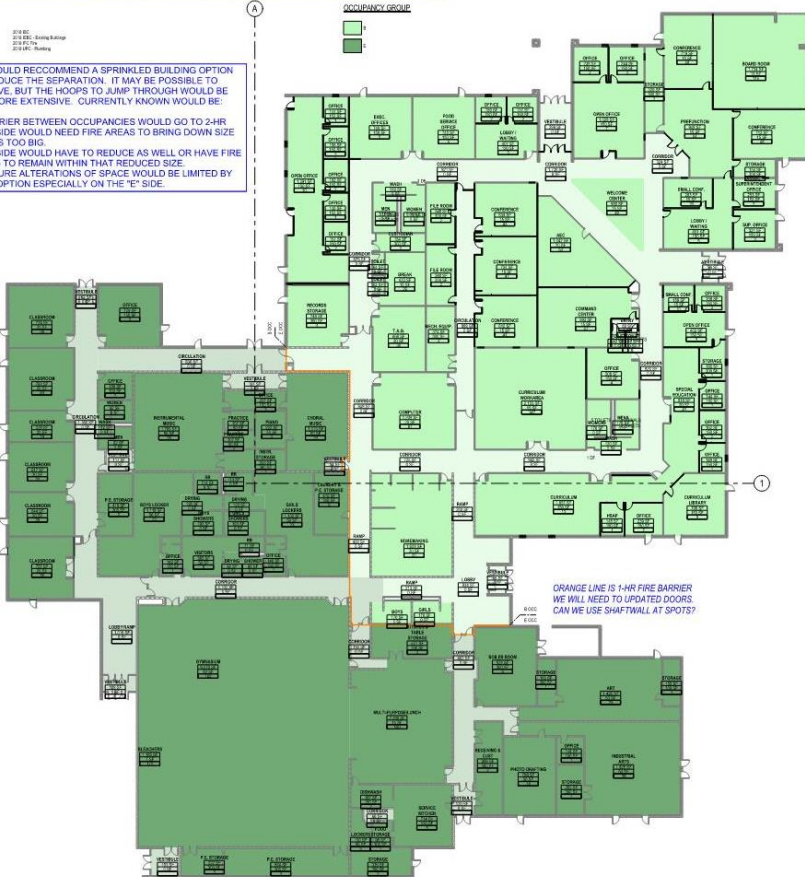


FLOOR PLAN REVIEW | Building Zones

- Zone A - Future Office use
 - 41,065 GSF renovation
 - Classroom Areas for reuse
 - 7,495 GSF renovation to include “finishes only”
- Zone B - Existing Facilities to remain
 - 37,626 GSF Existing to Remain*
 - 3,149 GSF Print Shop

* Includes Gymnasium, Multi-purpose/Dining Room, Music Classrooms, Art Classrooms, and Locker Room facilities that may be desired for community use.

SPRINKLED BUILDING TYPE 1B:
- B OCCUPANCY = 92,000 GSF (EXISTING IS 89,000 GSF)
- E OCCUPANCY = 58,000 GSF
- SINGLE STORY
CANT BE ACCESSORY - MORE THAN 10%
COULD BE NONSEPARATED IF WE CAN MAKE ENTIRE BUILDING E? (MOST RESTRICTIVE)
- CANT GET IT TO WORK CAN ONLY ADD 10,875 GSF SO CANT BE E.)
SEPARATED OCCUPANCY OTHERWISE. AND IF SEPARATED REQUIRE A 1-HR BARRIER BETWEEN B & E.



FLOOR PLAN REVIEW | Zone 1

- Administrative Offices

- Leverage existing wall locations & RR
- Public Access areas
- Central Plaza for overflow/community gathering
- Internal Offices with open plan at perimeter
- Internal/Secure Storage
- Internal/Secure Command Center
- Existing Computer room to remain



FLOOR PLAN REVIEW | Zone 1 (Board Room View)

• Administrative Offices

- Leverage existing wall locations & RR
- Public Access areas
- Central Plaza for overflow/community gathering
- Internal Offices with open plan at perimeter
- Internal/Secure Storage
- Internal/Secure Command Center
- Existing Computer room to remain



- **Community Space**

- Classroom use
- Dedicated entry, parking, and office space.
- Controlled access at corridors
- Existing Gym, Locker Rooms, and Vocal Rooms to remain for community use



- Review of Existing Conditions

- Cooling Tower
- Pump Shed
- Generator
- Steam Boilers
- Water Pumps
- Control Panel
- Ventilator
- Electrical Panel
- Gas Meter
- Fire Alarm System Panels



SPRING CREEK BUILDING - NORTHEAST VIEW



SPRING CREEK BUILDING SITE



EXISTING COOLING TOWER, PUMP SHED, GENERATOR



EXISTING COOLING TOWER & PUMP SHED



EXISTING NATURAL GAS GENERATOR



EXISTING COOLING TOWER PUMP



EXISTING COOLING TOWER PUMP



EXISTING ELECTRICAL GEAR



EXISTING STEAM BOILERS



EXISTING STEAM TO HOT WATER HEX & CONDENSER WATER PUMPS



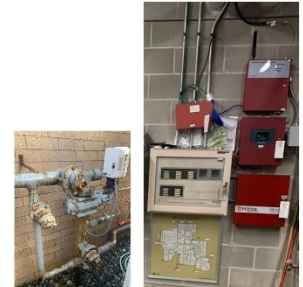
EXISTING CONDENSER WATER PUMP



EXISTING AUTOMATIC LOGIC CONTROL PANEL



EXISTING HEAT PUMP SUPPLY VENTILATION



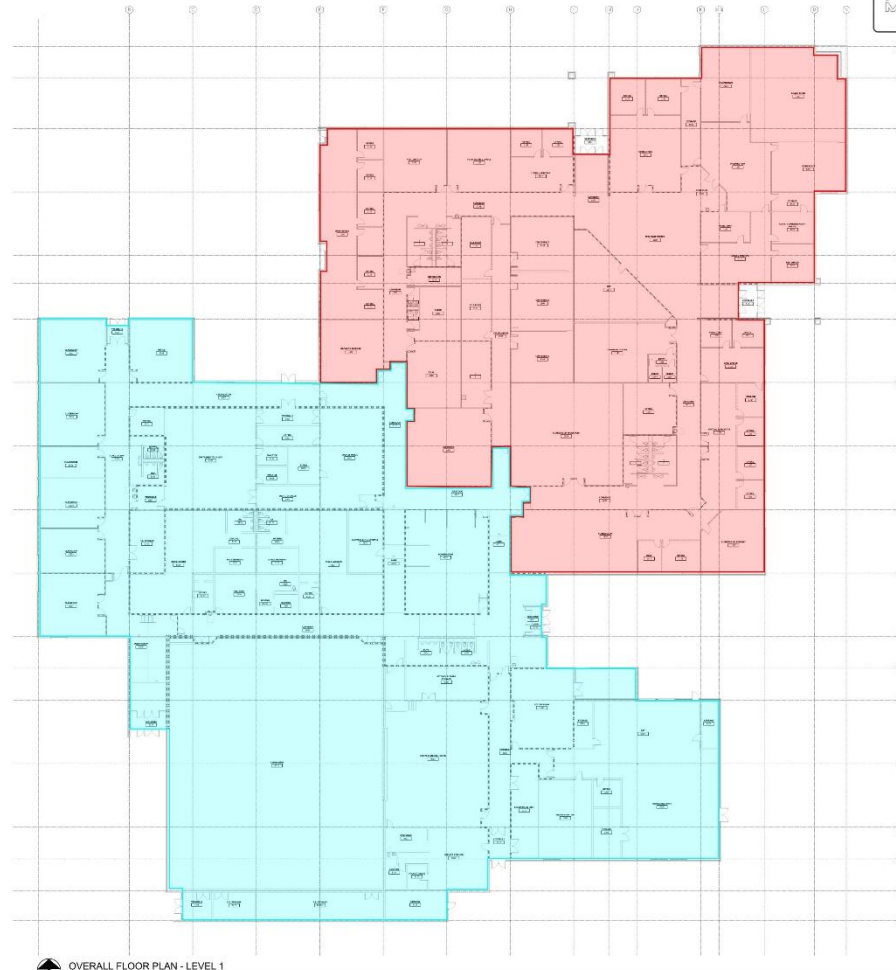
EXISTING NATURAL GAS METER SET



EXISTING FIRE ALARM SYSTEM PANELS

FLOOR PLAN REVIEW | MEP Scope

- Heat Pump Replacement
 - New (11)
 - Replaced (34)
- Roof-mounted Ventilation Unit
 - Remodeled Areas Only
- Existing Boilers/Cooling Tower
- Heat Pump Loop System Pumps
- DDC System to serve entire building



M C H I S	214 EAST FOURTH STREET	319	235	0650	TEL
	WATERLOO, IOWA 50703	319	235	0644	FAX
	1300 EAST 3RD STREET, STE. 300	515	251	7240	TEL
	DES MOINES, IOWA 50309	515	251	7340	FAX
	118 EAST COLLEGE ST, STE. 200	319	248	4900	TEL
	IOWA CITY, IOWA 52242	319	248	0141	FAX
33003.rsp.com					

	NEW HEAT PUMPS (24) REPLACE (1) NEW ZONE
	EXISTING HEAT PUMPS QUANTITY UNCHANGED

CHALLENGES

- Replace Heat Pump
- Replace Cooling Tower
- Replace Boilers
- New Ventilation Unit
- Install sprinklers throughout

OPPORTUNITIES

- + Central Location within District
- + Utilize Existing Infrastructure
- + Parking Access
- + Bonus Classroom Space
- + Additional Square Footage for growth/flexibility
- + Leverage Existing Spaces for Community Use (Gym, Music, Locker Rooms, etc.)



RENDERINGS













STATEMENT OF PROBABLE COST



STATEMENT OF PROBABLE COST | Interior Renovation vs. New Co

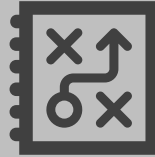
RDG #R3005.332.00

Total Area of Existing School: 89,335

Area of Proposed New Building: 37,290
 Area of Proposed Unfinished Lower Level: 10,000
 47,290

Description	Units	Unit Cost	Quantity	Estimated Cost
Remodeling				
Demolition				
Exterior Upgrades (power wash and minimal masonry tuck point)	lump sum	\$6	48,560	\$ 291,360
Level One Remodeling	SF	\$37	0	\$ -
Level Two Remodeling	SF	\$57	7,373	\$ 417,680
Level Three Remodeling	SF	\$110	37,290	\$ 4,087,543
Rest Room Remodeling	SF	\$250	0	\$ -
Kitchen Remodeling	SF	\$250	0	\$ -
Modify Entrance Character (tbd) /Clerestory	SF	\$125	4,100	\$ 512,500
Modify Hallway locker base to create "working display wall"	LF	\$300	0	\$ -
2x Security Door Pairs on hold opens	per pair	\$8,000	6	\$ 48,000
Roof (spot touch ups only)	SF	\$10	2,000	\$ 20,000
Add Fire Protection (Sprinkler system (4) and alarm (3)	SF	\$7	89,335	\$ 625,345
Plumbing (Grease Interceptor, fixtures etc.)	lump sum	\$4	48,560	\$ 194,240
Plant Equipment Replacement (Boilers, Cooling Tower, etc.)	lump sum	\$12	89,335	\$ 1,072,020
HVAC Interior HVAC finish-install (Zone One)	SF	\$23	0	\$ -
Remaining HVAC Equipment (replace heat pumps) (Zone Two)	SF	\$18	40,775	\$ 733,950
Electrical Power (Device adjustments but no new power needed)	SF	\$2	0	\$ -
Domestic hot water heater adjustments	lump sum			\$ 40,000
Interior Lighting (new fixtures & controls)(some specialty accent)	SF	\$15	0	\$ -
HVAC Controls Zone One	lump sum			\$ 90,000
HVAC Controls Zone Two and Central Plant	lump sum			\$ 140,000
Communication (Telecom) Systems	SF	\$3	0	\$ -
Safety and Security (Access and Control)	SF	\$3	0	\$ -
Control Room Infrastructure				\$ 125,000
Specialty AV (Board and Conference Rooms)				\$ 100,000
Remodeling Sub Total				\$ 8,206,279
Site Improvements				
New Enclosure for on-grade Chiller				\$ 30,000
Upgraded Parking and Drives	SF	\$8	0	\$ -
New Water Service for Sprinkler	lump sum			\$ 100,000
Site Lighting (new entrance sequence, site accent, signage)				\$ 40,000
Site Grading/Detention/Utility (New Water Supply, Sprinkler)	Lump Sum			\$ 50,000
Site Amenities/Signage/Plantings	Lump Sum			\$ 25,000
Site Sub Total				\$ 215,000
Total Construction Allocation				\$ 8,421,279
Contingency Reserve (Design/Bid/Construction)	7%			\$ 589,490
Total Construction + Contingency				\$ 9,010,768
AE/CMr/IT Design Fees	10.00%			\$ 901,077
Other Owners Costs (prints/surveys/legal/ins)	2.00%			\$ 180,215
Kitchen or Specialty Equipment (Break and Board Room)				\$ 75,000
FFE (assumes partial re-use of existing)	SF	\$20.00	48,560	\$ 971,200
Total Project Costs				\$ 11,138,261
				\$ 11,100,000

Description	Units	Unit Cost	Quantity	Estimated Cost
New Construction				
New Building Core and Shell. Assume One Story Walk Out	SF	\$265	37,290	\$ 9,881,850
Partial Basement, Storage, light/unfinished	SF	\$175	10,000	\$ 1,750,000
Elevator (Passenger Style plus service)	2 stops			\$ 150,000
Interior Improvement Package (TI based)	SF	\$135	37,290	\$ 5,034,150
Communication (Telecom) Systems	SF	\$5.50	47,290	\$ 260,095
Safety and Security (Access and Control)	SF	\$5.00	47,290	\$ 236,450
Control Room Infrastructure				\$ 250,000
Working Display Wall	LF	\$300	400	\$ 120,000
Specialty AV (Board and Conference Rooms)				\$150,000
Building Construction Cost Sub Total				\$ 17,832,545
Site Improvements				
Parking and Drives	SF	\$5,400	100	\$ 540,000
Site Grading/Detention/Utilities	Lump Sum			\$ 350,000
Site Lighting				\$ 100,000
Site Amenities/Signage/Plantings	Lump Sum			\$ 125,000
New Enclosure for on-grade Chiller				\$ 50,000
Emergency Power Generator				\$ 400,000
Site Sub Total				\$ 1,115,000
Total Construction Allocation				\$ 18,947,545
Contingency Reserve (new equals less %) (Design/Bid/Construction)	10%			\$ 1,894,755
Total Construction + Contingency				\$ 20,842,300
AE/C/PM/IT Design Fees	9.50%			\$ 1,980,018
Other Owners Costs (prints/surveys/legal/ins)	3.00%			\$ 625,269
Kitchen or Specialty Equipment (Break and Board Room)				\$ 75,000
Land Purchase	NIC			\$ -
FFE (assumes partial re-use of extg.)	SF	\$27.00	37,290	\$ 1,006,830
Total Project Costs				\$ 24,529,417
				\$ 24,500,000



NEXT STEPS...



NEXT STEPS...

- Next Steps:
 - Present proposal for DD – CA Services
 - June Kick-off

Start Date 2/1/2023
End Date 6/1/2024

				2023												2024																																																																																				
				February			March			April			May			June			July			August			September			October			November			December			January			February			March			April			May			June			July			August			September			October			November			December																														
				30	6	13	20	27	3	10	17	24	1	8	15	22	29	5	12	19	26	3	10	17	24	31	7	14	21	28	4	11	18	25	2	9	16	23	30	6	13	20	27	4	11	18	25	1	8	15	22	29	5	12	19	26	4	11	18	25	1	8	15	22	29	6	13	20	27	3	10	17	24	1	8	15	22	29	5	12	19	26	2	9	16	23	30	7	14	21	28	4	11	18	25	2	9	16	23	30
START	END	WEEKS		HOLD												HOLIDAY	HOLIDAY	HOLIDAY	HOLD																																																																																	
PROG	2/1/2023	3/30/2023	60	[Yellow]			[Grey]															[Grey]																																																																														
SD	6/9/2023	7/14/2023	6	[Yellow]			[Grey]															[Grey]																																																																														
DD	7/13/2023	9/22/2023	10	[Yellow]			[Yellow]			[Grey]			[Yellow]			[Grey]						[Grey]																																																																														
CD	9/25/2023	12/22/2023	13	[Grey]			[Grey]			[Grey]			[Yellow]			[Grey]						[Yellow]			[Grey]																																																																											
BN	1/8/2024	2/1/2024	4	[Grey]			[Grey]															[Yellow]			[Grey]																																																																											
CA	6/1/2024	TBD	-	[Grey]			[Grey]															[Grey]			[Yellow]																																																																											



QUESTIONS?

