SOUTHEAST POLK COMMUNITY SCHOOL DISTRICT

ADMINISTRATION BUILDING IMPROVEMENTS

05.18.2023

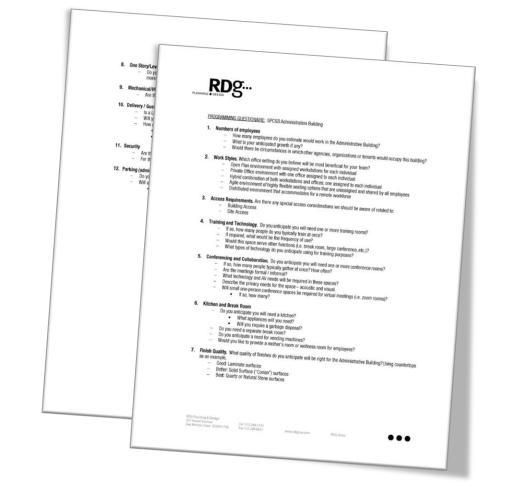






PLANNING PROCESS I Questionnaire

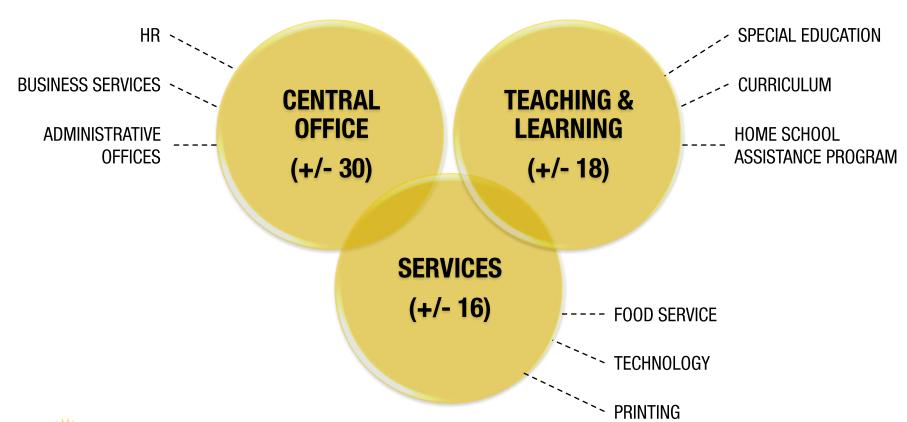
- Information Gathering
- Programming Quantitative Data
- Adjacency Study
- Blocking & Stacking Diagrams
- Feasibility study of existing Spring Creek Building
 - Fit Study
 - Existing Conditions Survey
 - Code Review







PLANNING PROCESS I Diagrams





PLANNING PROCESS I Programming - Quantitative Data

SPACE NEEDS FOR P	ROPOSED SE POLK ADMINISTRATION BUILD	NG		Ancillary	Office	Occ	Occ Factor	SF-EA		GROSS SF	COMMENTS
3,1032,132,132,132,132		7.75X		Qty.	Qty.		Factor		[70% Net-to-Gr	oss Ratio]	
DEPARTMENT	T ROLE / POSITION	SETTING TYPE	SIZE								
I	Superintendent	Exec. Office	16 x 18		1			288	288	411	6
	Assoc. Superintendent	Director Office	14 x 16		1			224	224	320	
	Exec. Admin. Assistant	Workstation	8 x 8		1			64	64		
Superintendent's		TTO INSTITUTO	0.40	1	1			200	200	286	
Superintendent 5	Growth	Workstation	8 x 8	-	1			64	64	7956	
	DEPARTMENT TOTAL >>>>>>		>>	1	4				840	1,200	
	Exec. Director	Director Office	14 x 16		1			224	224	320	
I	Exec. Admin. Assistant	Workstation	8 x 8		1			64	64		
100	Growth	Workstation	8 x 8	-	1			64	64	91	
Human Resource	Small Conference Room	6-8 person	12 x 15	1	-			180	180	257	
	DEPARTMENT TOTAL >>>>>>			1	3				532	760	
	Registrar	Workstation	8 x 8		1			180	180	257	
	Energy Manager	Workstation	8 x 8		1			180	180	257	
	Community Relations Coordinator	Office	12 x 15		1			180	180	257	
General District C		Ojjice	12 / 13	1	-			1,400	1,400		
General District C	Growth Center / Lobby	Workstation	8 x 8	-	1			64	64	91	
	DEPARTMENT TOTAL >>>>>>		1	4				2,004	2,863		
	Exec. Director	Director Office	14 x 16		1			224	224	320	
	Controller	Office	12 x 15		1			180	180	257	
	Payroll Adminstrator	Workstation	8 x 8		1			64	64		
	Payroll Clerk	Workstation	8 x 8	_	1			64	64		
	Accounts Payable Clerk	Workstation	8 x 8		2			64	128		
1000-000-000-000-00	Renefits Specialist	Office	12 x 15	-	1			180	180	257	
Business Service	Records / Archivist	Office	12 x 15	-	1			180	180		
	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	-,,			17791						
	Growth	Office	12 x 15		1			180	180	257	Requires access to private space for phone calls, meetings Future Admin. Associate Workstation Requires access to private space for phone calls, meeitings Playful, safe, intuivie use for families; located near Registrar Secure storage for confidential documents; workstations located in shared office workstation located in shared office 2 laterals; 2 workstations located in shared office filing storage (5 laterals); permanent file retention (not confidential) could be a shardware/equipment needs (scanner, etc.) a lot of worktop. Use as a Small Conf. or Records storage until office space is needed "Vault" space for retention documents Current facility seats 60 and "feels small"; Adjacent to deliberation room; Cateria accomodations; Adjacent IT support Seats 14-20 Adjancent to Board Room Private phone calls, 4-6 person meetings for Administrative staff For Board Room Furnishings Basement storage to be quantified; Archive files at District Office
	Records Storage	Ojjiec	12 / 13	1	-			500	500		
	DEPARTMENT TOTAL >>>>>>	********	>>	1	9				1,700	2,429	
	Board Room			1				1,976	1,976		Current facility seats 60 and "feels small"; Adjacent to deliberation room; Catering

	Medium Conference Room			1				650			
	Medium Conference Room			1				650			
	Dalibaration Poom			1	-			650	650	929	Adjancent to Board Room
Ancillary Space	(s) Small Conference Room			1				250	250		
	Table/Chair Storage			1				400	400		
	Storage			1	-			800	800		
	DEPARTMENT TOTAL >>>>>>	******	>>	7	0				4,076	5,823	
•	SUBTOTAL - CENTRAL OFFICE			11	20				9,152	13,074	
	TOTAL W/ CIRCULATION (Load Factor	A Company of the Comp							10,525	15,035	





PLANNING PROCESS I Programming - Quantitative Data

Storage 1 - 800 800 1,143 Curriclum Library Storage DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>	SPACE NEEDS FOR PR	OPOSED SE POLK ADMINISTRATION BUILDING			Ancillary Qty.	Office Qty.		Occ SF-EA Factor	NET SF [70% Net-to-G	GROSS SF	COMMENTS
Special Education					- 1880						
Special Education	DEPARTMENT	ROLE / POSITION	SETTING TYPE	SIZE							
Special Education		Exec. Director	Director Office	14 x 16	-	1		224	224	320	
Special Education Growth Workstotion 8 x 8 - 1 64 64 91		Executive Admin. Assistant	Workstation	8 x 8	-	2		64	128	183	
Growth Stronge 1	Consist Education	Medicaid Billing Clerk	Workstation	8 x 8	-	1		64	64	91	
DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>	Special Educatio	Growth	Workstation	8 x 8	-	1		64	64	91	
Exec. Director Director Office 14 x 16		Storage			1	-		400	400	571	Mats, pads, storage of unused equipment
Exec. Admin. Assistant Workstation 8 × 8 - 1 64 64 91		DEPARTMENT TOTAL >>>>>>>	*****	>>	1	5			880	1,257	,
PK-12 Al-Risk Coordinator		Exec. Director	Director Office	14 x 16	-	1		224	224	320	
## Px 12 Math Coordinator Workstation		Exec. Admin. Assistant	Workstation	8 x 8	-	1		64	64	91	
Elementary Literacy Coordinator		PK-12 At-Risk Coordinator	Workstation	8 x 8	-	1		64	64	91	
Elementary Liberacy Coordinator		PK-12 Math Coordinator	Workstation	8 x 8		1		64	64	91	
PK-12 College & Career Coordinator		Elementary Literacy Coordinator		8 x 8		1		64	64	91	collaborative workstation with Secondary Literacy Coordinator
Curriculum				8 x 8	-	1		64	64		
Next Curriculum PK-12 Centraling Supports Coordinator Workstation 8 x 8 - 1 64 64 91			Workstation	8 x 8	-	1		64	64	91	
PK-12 Science Coordinator	Curriculum			8 x 8		1		64	64	91	
Secondary Ulteracy Coordinator Workstation 8 x 8 - 1 64 64 91 Collaborative workstation with Elementary Literacy Coordinator Pk-12 Assessment Coordinator Workstation 8 x 8 - 1 64 64 91				8 x 8		1		64	64	91	
Pk-12 Assessment Coordinator Workstation 8 x 8 - 1 64 64 91			Workstation	8 x 8	0.0	1		64	64	91	collaborative workstation with Elementary Literacy Coordinator
Early Childhood Coordinator Workstation 8 x 8 - 1 64 64 91				8 x 8		1		64	64		
DEPARTMENT TOTAL >>>>>>>>>>>					_	1					
HSAP Teacher Workstation 8 x 8 - 3 64 192 274 Collaborative work area 800 s - 800 s F curriculum library 25/30 kids meet monthly; plan for growth in enrichment; can be shared with Training Room (included below) Production Lab					-	1					
HSAP Storage DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>		DEPARTMENT TOTAL >>>>>>>>	*****	>>	0	13			1,108	1,583	
Storage 1 - 800 800 1,143 Curriclum Library Storage DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>		HSAP Teacher	Workstation	8 x 8		3		64	192	274	Collaborative work area
Storage 1 - 800 800 1,143 Curriclum Library Storage		Collaboration Space			0			800	-	-	800 SF Curriculum library 25/30 kids meet monthly; plan for growth in enrichment; can be
Storage	ucan										
Storage 1 - 800 80 1,143 "Warehouse-like storage for STEM kits, early eduation materials, textbooks, special educce equipment, and extra text books. Training Room 1 - 1,080 1,080 1,543 shared with HSAP Collab. Space; HSAP holds monthly training; requires tech & flexible fun layout; seats up to 45 Production Lab Ancillary Space(s) Medium Conference Room Coat Storage 1 - 650 1,300 1,857 Seats 12-15; visual/acoustic privacy; tech connections; 2-4 person group settings Coat Storage 1 - 100 1,080 1,080 1,857 Seats 12-15; visual/acoustic privacy; tech connections; 2-4 person group settings Wellness / Family RR 1 1 120 120 171 To accommodate Mother's Room needs - sink, refrigerator, mirror, seating, lighting DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>	нзар	Storage			1	-		800	800	1,143	Curriclum Library Storage
equipment, and extra text books. Training Room 1 - 1,080 1,080 1,543 shared with HSAP Collab. Space; HSAP holds monthly training; requires tech & flexible fun layout; seat up to 45 Production Lab Ancillary Space(s) Medium Conference Room Coat Storage Coat Storage Vellness / Family RR DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>		DEPARTMENT TOTAL >>>>>>>	*****	>>	1	3			992	1,417	r
Training Room 1 - 1,080 1,080 1,543 shared with HSAP Collab. Space; HSAP holds monthly training; requires tech & flexible fun layout; seats up to 45 Production Lab 1 - 300 300 429 Zoom enabled for asynchronous learning; "Recording In-progress" alert; lighting / acoustineeds Medium Conference Room 2 - 650 1,300 1,857 Seats 12-15; visual/acoustic privacy; tech connections; 2-4 person group settings Coart Storage - 300 - TBD Wellness / Family RR 1 120 120 171 To accommodate Mother's Room needs - sink, refrigerator, mirror, seating, lighting DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>		Storage			1	-		800	800	1,143	
Production Lab 1 - 300 300 429 Zoom enabled for asynchronous learning; "Recording In-progress" alert; lighting / acoustineeds Medium Conference Room 2 - 650 1,300 1,857 Seats 12-15; visual/acoustic privacy; tech connections; 2-4 person group settings Coat Storage 300 - 1BD Wellness / Family RR 1 120 120 171 To accommodate Mother's Room needs - sink, refrigerator, mirror, seating, lighting DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>		Training Room			1	-		1,080	1,080	1,543	shared with HSAP Collab. Space; HSAP holds monthly training; requires tech & flexible furn
Medium Conference Room 2 - 650 1,300 1,857 Seats 12-15; visual/acoustic privacy; tech connections; 2-4 person group settings Coat Storage - 300 - 7BD Wellness / Family RR 1 120 120 171 To accommodate Mother's Room needs - sink, refrigerator, mirror, seating, lighting DEPARTMENT TOTAL >>>>>>>>>> 6 0 3,600 5,143 SUBTOTAL - TEACHING & LEARNING 8 21 6,580 9,400					1	-		300	300	429	Zoom enabled for asynchronous learning; "Recording In-progress" alert; lighting / acousti
Coat Storage : 300 - TBD Wellness / Family RR 1 120 120 171 To accommodate Mother's Room needs - sink, refrigerator, mirror, seating, lighitng DEPARTMENT TOTAL >>>>>>>> 6 0 3,600 5,143 SUBTOTAL - TEACHING & LEARNING 8 21 6,580 9,400	Ancillary Space(s							200	4.25-		
Wellness / Family RR 1 120 121 171 To accommodate Mother's Room needs - sink, refrigerator, mirror, seating, lighting DEPARTMENT TOTAL >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>					2	-					
DEPARTMENT TOTAL >>>>>>>>>> 6 0 3,600 5,143 SUBTOTAL - TEACHING 8 21 6,580 9,400											
SUBTOTAL - TEACHING & LEARNING 8 21 6,580 9,400		weiiness / Family RR			1			120	120	171	. To accommodate Mother's Room needs - sink, refrigerator, mirror, seating, lighiting
			*****	>>							
					8	21			6,580 7,567		





PLANNING PROCESS I Programming - Quantitative Data

SPACE NEEDS FOR PROP	OSED SE POLK ADMINISTRATION B	UILDING		Ancillary Qty.	Office Qty.	Occ Occ Factor	SF-EA	NET SF [70% Net-to-G	GROSS SF ross Ratio]	COMMENTS
DEPARTMENT	ROLE / POSITION	SETTING TYPE	SIZE							
	Director	Director Office	14 x 16	i i	1		224	224	320	
	Exec. Admin. Assistant	Workstation	8 x 8	2	1		64	64	91	
Food Service	Food Service Clerk	Workstation	8 x 8	-	0		64	-	-	1deskforsharedpart-timeposition,staffsharedwithSpecialEducationdept.(deskincludes)
	DEPARTMENT TOTAL >>>>	>>>>>>>	>>	0	2			288	411	
	Director of Technology	Director Office	14 x 16	-	1		224	224	320	
	Systems Administrator	Workstation	8 x 8		1		64	64	91	
	Exec. Admin. Assistant	Workstation	8 x 8		1		64	64	91	
	Collaboration Area	Workstation	8 x 8	-	4		64	256	366	Dedicated workstations for techs/temps/field staff w/ storage for personal items (coat an
Technology	Day Locker Space	Benching	4 x 6		6		24	144	206	
-	Repair Shop			_			400			Located off site
	Storage			1	-		800	800	1,143	Equipment storage & set-up space
	DEPARTMENT TOTAL >>>>	1	13			1,552	2,217			
	Print Shop			1	-		800	800	1,143	3 large machines, paper cutter, etc.; Could be located off-site
	Mail Room			1	4		200	200	286	All mail is received / distributed on-site
Printing	Staff	Workstation	8 x 8	-	1		64	64	91	. 1 workstation @standing height in print shop
	DEPARTMENT TOTAL >>>>	>>>>>>	>>	2	1			1,064	1,520	
	"Command Center"			1	-		800	800	1,143	12-person; Battery back-up; Direct line for phone/data; Multi-screen display
Ancillary Space(s)										
All Amil Sprace	DEPARTMENT TOTAL >>>>	>>>>>>>>	>>	1	0			800	1,143	
	SUBTOTAL - FOOD SERVICE TEC	CHNOLOGY PRINTING		4	16			3,704	5,291	
	TOTAL W/ CIRCULATION (Load F	actor of 15%)						4,260	6,085	
	SUBTOTAL - NET SF WHOLE BUIL + Aggregate area required for circumechanical, janitor closets, IT sys	lation,		23	57			22,351	31,931	

31,931





PLANNING PROCESS | Initial Cost Estimate (New Construction)

RDG # R3005.332.00

Area of Proposed New Building:

37,290 10,000 (assumes a match with area to be remodeled)

(assumes some growth and site modified building opportunity)

Area of Proposed Unfinished Lower Level:

47,290

Description	Units	Unit Cost	Quantity	Es	timated Cost
New Construction					
New Building Core and Shell. Assume One Story Walk Out	SF	\$265	37,290	\$	9,881,850
Partial Basement, Storage, light/unfinished	SF	\$175	10,000	\$	1,750,000
Elevator (Passenger Style plus service)	2 stops			\$	150,000
Interior Improvement Package (TI based)	SF	\$135	37,290	\$	5,034,150
Communication (Telecom) Systems	SF	\$5.50	47,290	\$	260,095
Safety and Security (Access and Control)	SF	\$5.00	47,290	\$	236,450
Control Room Infrastructure				\$	250,000
Working Display Wall	LF	\$300	400	\$	120,000
Specialty AV (Board and Conference Rooms)		200			\$150,000
Building Construction Cost Sub Total				\$	17,832,54
Site Improvements					
Parking and Drives	SF	\$5,400	100	\$	540,000
Site Grading/Detention/Utilities	Lump Sum	Strong Management	3337743	\$	350,000
Site Lighting	(000-01) (00000000000000000000000000000000000			\$	100,000
Site Amenities/Signage/Plantings	Lump Sum			\$	125,000
New Enclosure for on-grade Chiller	AVERAGE, October O. O.S.			\$	50,000
Emergency Power Generator				\$	400,000
Site Sub Total				\$	1,115,000
Total Construction Allocation				\$	18,947,54
Contingency Reserve (new equals less %) (Design/Bid/Construction)	10%			\$	1,894,75
Total Construction + Contingency				\$	20,842,300
AE/C/PM/IT Design Fees	9.50%			\$	1,980,01
Other Owners Costs (prints/surveys/legal/ins)	3.00%			\$	625,26
Kitchen or Specialty Equipment (Break and Board Room)	warmer-confl.W			\$	75,000
Land Purchase	NIC			\$	
FFE (assumes partial re-use of extg.)	SF	\$27.00	37,290	\$	1,006,83
Total Project Costs	100,000	. pri/mmostalist		\$	24,529,417



PLANNING PROCESS I Fit Study







PLANNING PROCESS I Existing Conditions Survey























PLANNING PROCESS | Existing Furniture Inventory

- Board Room Furnishings
- Seating
- Files
- Workstations





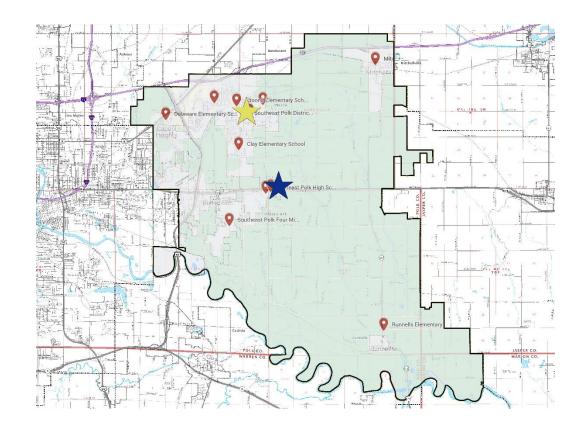






8031 NE University Avenue, Pleasant Hill, IA 50327

- Reuse of the Spring Creek
 Elementary building
- Approximately 4.5 miles south of the current location .
 (Shown below with blue star)
- Site offers close proximity to existing Junior High, High School, Athletic Complexes, and other support service buildings.



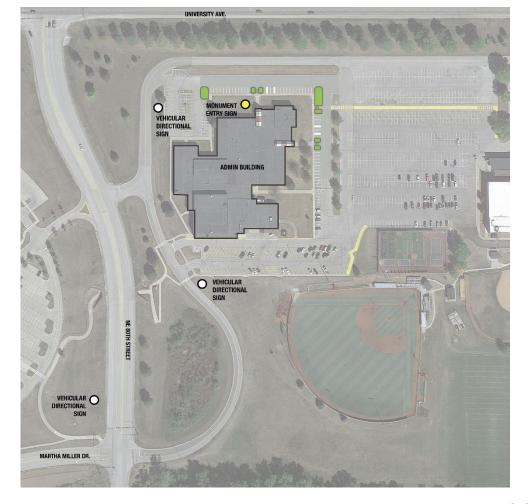




FLOOR PLAN REVIEW | Site

Spring Creek Location

- Vehicular Access
- Directional Signage







FLOOR PLAN REVIEW | Site

• Spring Creek Location

- Hierarchy of Entry
- Parking Opportunities
- Monument Signage
- Lighting
- Greenspace











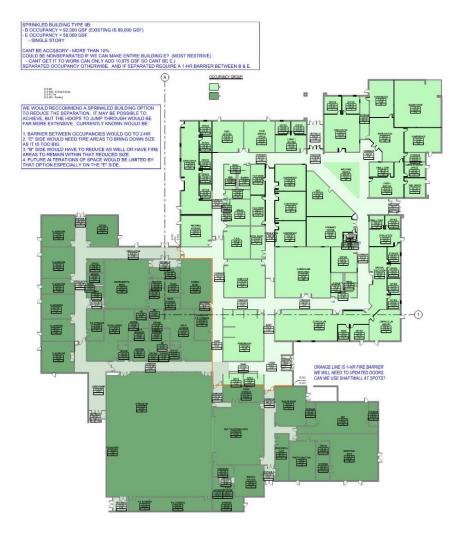
FLOOR PLAN REVIEW | Building Zones

Zone A - Future Office use

- 41,065 GSF renovation
- Classroom Areas for reuse
- 7,495 GSF renovation to include "finishes only"

Zone B - Existing Facilities to remain

- 37,626 GSF Existing to Remain*
- 3,149 GSF Print Shop







^{*} Includes Gymnasium, Multi-purpose/Dining Room, Music Classrooms, Art Classrooms, and Locker Room facilities that may be desired for community use.

• Spring Creek Location

- NE Zone for Administrative Offices
- NW Zone for Classroom Use
- Public Access
- Internal Departments
 - Central Offices
 - Teaching & Learning
 - IT / Technology / Food Service





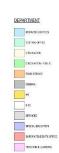


FLOOR PLAN REVIEW I Zone 1

Administrative Offices

- Leverage existing wall locations & RR
- Public Access areas
- Central Plaza for overflow/community gathering
- Internal Offices with open plan at perimeter
- Internal/Secure Storage
- Internal/Secure Command Center
- Existing Computer room to remain









FLOOR PLAN REVIEW I Zone 1 (Board Room View)

Administrative Offices

- Leverage existing wall locations & RR
- Public Access areas
- Central Plaza for overflow/community gathering
- Internal Offices with open plan at perimeter
- Internal/Secure Storage
- Internal/Secure Command Center
- Existing Computer room to remain









Community Space

- Classroom use
- Dedicated entry, parking, and office space.
- Controlled access at corridors
- Existing Gym, Locker
 Rooms, and Vocal Rooms
 to remain for community
 use







FLOOR PLAN REVIEW I MEP Scope

Review of Existing Conditions

- **Cooling Tower**
- Pump Shed
- Generator
- Steam Boilers
- Water Pumps
- Control Panel
- Ventilator
- **Electrical Panel**
- Gas Meter
- Fire Alarm System Panels



































FLOOR PLAN REVIEW I MEP Scope

- Heat Pump Replacement
 - New (11)
 - Replaced (34)
- Roof-mounted Ventilation Unit
 - Remodeled Areas Only
- Existing Boilers/Cooling Tower
- Heat Pump Loop System Pumps
- DDC System to serve entire building





CHALLENGES

- Replace Heat Pump
- Replace Cooling Tower
- Replace Boilers
- New Ventilation Unit
- Install sprinklers throughout

OPPORTUNITIES

- Central Location within District
- + Utilize Existing Infrastructure
- + Parking Access
- + Bonus Classroom Space
- + Additional Square Footage for growth/flexibility
- Leverage Existing Spaces for Community Use (Gym, Music, Locker Rooms, etc.)



































STATEMENT OF PROBABLE COST



STATEMENT OF PROBABLE COST I Interior Renovation vs. New Co

RDG #R3005.332.00 Total Area of Existing School: 89,335

Description	Units	Unit Cost	Quantity	Estimated Cost
Remodeling			100	
Demolition	SF	\$6	48,560	\$ 291,360
Exterior Upgrades (power wash and minimal masonry tuck point)	lump sum	4		\$ 50,000
Level One Remodeling	SF	\$37	0	\$ -
Level Two Remodeling	SF	\$57	7,373	\$ 417,680
Level Three Remodeling	SF	\$110	37,290	\$ 4,087,543
Rest Room Remodeling	SF	\$250	0	\$ -
Kitchen Remodeling	SF	\$250	0	\$ -
Modify Entrance Character (tbd) /Clerestory	SF	\$125	4,100	\$ 512,500
Modify Hallway locker base to create "working display wall"	LF	\$300	0	\$ -
2x Security Door Pairs on hold opens	per pair	\$8,000	6	\$ 48,000
Roof (spot touch ups only)	SF	\$10	2,000	\$ 20,000
Add Fire Protection (Sprinkler system (4) and alarm (3)	SF	\$7	89,335	\$ 625,345
Plumbing (Grease Interceptor, fixtures etc.)	lump sum	\$4	48,560	\$ 194,240
Plant Equipment Replacement (Boilers, Cooling Tower, etc.)	lump sum	\$12	89,335	\$ 1,072,020
HVAC Interior HVAC finish-install (Zone One)	SF	\$23	0	\$ -
Remaining HVAC Equipment (replace heat pumps) (Zone Two)	SF	\$18	40,775	\$ 733,950
Electrical Power (Device adjustments but no new power needed)	SF	\$2	0	\$ -
Domestic hot water heater adjustments	lump sum			\$ 40,000
Interior Lighting (new fixtures & controls)(some specialty accent)	SF	\$15	0	\$ -
HVAC Controls Zone One	lump sum	81		\$ 90,000
HVAC Controls Zone Two and Central Plant	lump sum			\$ 140,000
Communication (Telecom) Systems	SF	\$3	0	\$ -
Safety and Security (Access and Control)	SF	\$3	0	\$ -
Control Room Infrastructure			(4	\$ 125,000
Specialty AV (Board and Conference Rooms)				\$ 100,000
Remodeling Sub Total				\$ 8,206,279
Site Improvements				
New Enclosure for on- grade Chiller	1,000,00	200420	ec.	\$ 30,000
Upgraded Parking and Drives	SF	\$8	0	\$ -
New Water Service for Sprinkler	lump sum			\$ 100,000
Site Lighting (new entrance sequence, site accent, signage)				\$ 40,000
Site Grading/Detention/Utility (New Water Supply, Sprinkler)	Lump Sum			\$ 50,000
Site Amenities/Signage/Plantings	Lump Sum			\$ 25,000
Site Sub Total	0.00			\$ 215,000
Total Construction Allocation				\$ 8,421,279
Contingency Reserve (Design/Bid/Construction)	7%			\$ 589,490
Total Construction + Contingency	1			\$ 9,010,768
AE/CMr/IT Design Fees	10.00%			\$ 901,077
Other Owners Costs (prints/surveys/legal/ins)	2.00%			\$ 180,215
Kitchen or Specialty Equipment (Break and Board Room)	THE CONTRACT OF THE CONTRACT O			\$ 75,000
FFE (assumes partial re-use of existing)	SF	\$20.00	48,560	\$ 971,200
Total Project Costs		1	,	\$ 11,138,261
				\$ 11,100,000

Area of Proposed New Building: 37,290
Area of Proposed Unfinished Lower Level: 10,000
47,290

Description	Units	Unit Cost	Quantity	Est	imated Cost
New Construction					
New Building Core and Shell. Assume One Story Walk Out	SF	\$265	37,290	\$	9,881,850
Partial Basement, Storage, light/unfinished	SF	\$175	10,000	\$	1,750,000
Elevator (Passenger Style plus service)	2 stops	0		\$	150,000
nterior Improvement Package (TI based)	SF	\$135	37,290	\$	5,034,15
Communication (Telecom) Systems	SF	\$5.50	47,290	\$	260,09
Safety and Security (Access and Control)	SF	\$5.00	47,290	\$	236,45
Control Room Infrastructure				\$	250,00
Working Display Wall	LF	\$300	400	\$	120,00
Specialty AV (Board and Conference Rooms)					\$150,00
Building Construction Cost Sub Total				\$	17,832,54
Site Improvements	1-21				
Parking and Drives	SF	\$5,400	100	\$	540,00
Site Grading/Detention/Utilities	Lump Sum			\$	350,00
Site Lighting				\$	100,00
Site Amenities/Signage/Plantings	Lump Sum			\$	125,00
New Enclosure for on-grade Chiller				\$	50,00
Emergency Power Generator				\$	400,00
Site Sub Total				\$	1,115,00
Total Construction Allocation				\$	18,947,54
Contingency Reserve (new equals less %) (Design/Bid/Construction)	10%			\$	1,894,75
Total Construction + Contingency				\$	20,842,30
AE/C/PM/IT Design Fees	9.50%			\$	1,980,01
Other Owners Costs (prints/surveys/legal/ins)	3.00%			\$	625,26
(itchen or Specialty Equipment (Break and Board Room)				\$	75,00
and Purchase	NIC			\$	10000000
FFE (assumes partial re-use of extg.)	SF	\$27.00	37,290	\$	1,006,83
Total Project Costs				\$	24,529,41



24,500,000





NEXT STEPS...

- Next Steps:
 - Present proposal for DD CA Services
 - June Kick-off

				2023														2024							
	Date 2/1/2023 Date 6/1/2024			ebruary 13 20 2	March 6 13 20		April 10 17 24 1	May 8 15 22 29	<u>June</u> 5 12 19 26	July 3 10 17 24 31	August 7 14 21 21	September 3 4 11 18 25	October 2 9 16 23		December 4 11 18 25				May 13 20 27	June 3 10 17 24	July 1 8 15 22	August 29 5 12 19 2	September 2 9 16 23 30	October 7 14 21 2	
		END	WEEKS				НОШ							HOLIDAY	HOLIDAY	ноцрах		ногр							
PROG	2/1/2022	3/30/2023	60																						
SD	6/5/2023	7/14/2023	6																						
DD	7/17/2023	9/22/2023	10																						
CD	9/25/2023	12/22/2023	13																						
BN	1/8/2024	2/2/2024	4																						
CA	6/1/2024	TBD																							







